222 EAST 4TH AVENUE

PLANNING APPLICATION RESUBMITTAL SET
06/15/22

KSH ARCHITECTS
KORTH SUNSERI HAGEY

Sheet Index

Sheet Number	Sheet Name
1-ARCHITECTURE	
A-000	COVER SHEET
A-001	SHEET INDEX
A-002	GENERAL NOTES AND PROJECT INFORMATION
A-003A	EGRESS AND OCCUPANCY
A-003B	EGRESS AND OCCUPANCY
A-004	PLUMBING FIXTURE CALCULATIONS
A-005	PARKING DETAILS
A-101	SITE PLAN
A-102	CONTEXT IMAGES
A-103	SHADOW STUDIES
A-201	LEVEL 1 FLOOR PLAN
A-202	LEVEL 2 FLOOR PLAN
A-203	LEVEL 3 FLOOR PLAN
A-204	LEVEL 4 FLOOR PLAN
A-205	LEVEL 5 FLOOR PLAN
A-206	LEVEL B1 FLOOR PLAN
A-207	LEVEL B2 FLOOR PLAN
A-210	RESIDENTIAL UNIT PLANS
A-220	DESIGN CONTEXT PLAN
A-231	LEVEL 1 VEHICLE TURNING ANALYSIS
A-232	LEVEL B1 & B2 VEHICLE TURNING ANALYSIS
A-301	RENDERING
A-302	RENDERING
A-303	RENDERING
A-304	RENDERING
A-305	RENDERING
A-306	MATERIALS
A-307	LINE OF SIGHT DIAGRAMS
A-311	BUILDING ELEVATIONS
A-312	BUILDING ELEVATIONS
A-321	BUILDING SECTIONS
A-322	BUILDING SECTIONS
A-401	ENLARGED ELEVATIONS AND SECTIONS
A-402	ENLARGED ELEVATIONS AND SECTIONS
2-CIVIL	
C1.00	EXISTING CONDITIONS PLAN
C1.01	DEMOLITION PLAN
C2.00	PRELIMINARY STREET LAYOUT PLAN
C2.01	TYPICAL SECTIONS
C3.00	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.00	PRELIMINARY UTILITY PLAN
C5.00	PRELIMINARY STORMWATER QUALITY CONTROL PLAN
C5.01	PRELIMINARY STORMWATER QUALITY CONTROL NOTES
C5.02	PRELIMINARY LOW IMPACT DEVELOPMENT REDUCION CALCULATIONS
C6.00	VEHICLE TURNING ANALYSIS
C6.01	VEHICLE TURNING ANALYSIS
C6.02	DELIVERY TRUCK ARRIVAL ANALYSIS
3-LANDSCAPE	
L-002	TREE PROTECTION PLAN
L-003	TREE INVENTORY
L-004	TREE INVENTORY
L-005	TREE INVENTORY
L-006	TREE INVENTORY
L-100	LEVEL 1 LANDSCAPE PLAN
L-101	LEVEL 3 LANDSCAPE PLAN
L-102	LEVEL 4 LANDSCAPE PLAN
L-103	ROOFTOP LANDSCAPE PLAN
L-200	STREETSCAPE SECTIONS
L-201	LANDSCAPE RENDERINGS
L-202	LANDSCAPE RENDERINGS
L-203	LANDSCAPE RENDERINGS
L-204	LANDSCAPE RENDERINGS
L-205	LANDSCAPE MATERIALS AND FURNISHING IMAGES
L-300	SITE FURNISHING DETAILS
4-TRASH MANAGEMENT	
T0.1	SITE PLAN LEVEL 1
T0.2	KEY PLAN TYPICAL UPPER LEVEL
T0.3	STAGING DETAILS OFFICE / CAFETERIA
T0.4	STAGING DETAILS RESIDENTIAL AND GROCERY
T1.0	OFFICE / CAFETERIA TRASH COLLECTION ROOM LAYOUT
T1.1	RESIDENTIAL TRASH CLOSET LAYOUT
T1.2	GROCERY TRASH ROOM PROTOTYPE
5-CONSTRUCTION	
DEV-101	PRELIMINARY SITE LOGISTICS PLAN
6-ELECTRICAL	
EP-1	SITE LIGHTING PHOTOMETRIC CALCS
EP-2	LIGHT FIXTURE CUT SHEETS
EP-3	LIGHT FIXTURE CUT SHEETS
TOTAL SHEETS: 73	

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
SHEET INDEX

SCALE

SHEET NUMBER

A-001

PROJECT DIRECTORY

OWNER
LANE PARTNERS — MARCUS GILMOUR — MARCUS@LANE-PARTNERS.COM
644 MENLO AVENUE, 2ND FLOOR — 650-665-7085
MENLO PARK, CA 94025

CONSTRUCTION MANAGEMENT
COMPASS SOLUTIONS — JASON SCHLUTT — JSCHLUTT@COMPASSSOLUTIONSINC.COM
408-718-9614

ARCHITECT
KORTH SUNSERI HAGEY ARCHITECTS — TED KORTH — TKORTH@KSHA.COM
349 SUTTER ST — 415-954-1960 X 230
SAN FRANCISCO, CA 94108 — JORDAN BLUM — JBLUM@KSHA.COM
415-954-1960 X 234

GEOTECHNICAL ENGINEER
CORNERSTONE EARTH GROUP — NICHOLAS DEVLIN — NDEVLIN@CORNERSTONEEARTH.COM
1259 OAKMEAD PARKWAY — 408-245-4600
SUNNYVALE, CA 94085

CIVIL ENGINEER
KIER AND WRIGHT — MARK KNUDSEN — MKNUDSEN@KIERWRIGHT.COM
3350 SCOTT BLVD, BLDG 22 — 408-727-6665
SANTA CLARA, CA 95054

LANDSCAPE ARCHITECT
ANDREA COCHRAN LANDSCAPE ARCH — EMILY RYLANDER — EMILY@ACOCHRAN.COM
2325 THIRD STREET, #210 — 415-503-0060
SAN FRANCISCO, CA 94107

TRASH MANAGEMENT CONSULTANT — SCOTT BROWN — SBROWN@TRASHMANAGE.COM
AMERICAN TRASH MANAGEMENT — 415-292-5401
1900 POWELL STREET, SUITE 220
EMERYVILLE, CA 94608

ABBREVIATIONS

A.C. ASPHALTIC CONCRETE
ACCD'G. ACCORDING
ACOUS. ACOUSTICAL
A.D. AREA DRAIN
ADD'L ADDITIONAL
ADJ. ASJACENT
A.F.F. ABOVE FINISH FLOOR
ALUM. ALUMINUM
ANOD. ANODIZED
BD. BOARD
BDLG. BUILDING
BLK'G BLOCKING
B.O. BOTTOM OF
B.U. BUILT UP
CAB. CABINET
CER. CERAMIC
CLG. CEILING
CLR. CLEAR
C.M.U. CONCRETE MASONRY UNIT
C.O. CLEANOUT
COL. COLUMN
CONC. CONCRETE
COND. CONDITION
CONTR. CONTRACTOR
CPT. CARPET
C.T. CERAMIC TILE
C.W. COLD WATER
DET. DETAIL
D.F. DOUGLAS FIR
DIA. DIAMETER
DIM. DIMENSION
D.S. DOWNSPOUT
DWG. DRAWING
EA EACH
ELEC. ELECTRICAL OR ELECTRIC
ELEV. ELEVATOR
ENCL. ENCLOSURE
EQ. EQUAL
(E) EXISTING
EXH. EXHAUST
EXT. EXTERIOR
F.A. FIRE ALARM PULL STATION
FDN. FOUNDATION
FIN. FINISH
F.D. FLOOR DRAIN
FLUOR. FLUORESCENT
F.O. FACE OF
F.O.W. FACE OF WALL
F.R. FIRE RATED
FRMG. FRAMING
FSTNRS. FASTENERS
FTG. FOOTING
GA. GAUGE
GALV. GALVANIZED
GDN. GARDEN
GL. GLASS
G.S.M. GALVANIZED SHEET METAL
GYP. BD. GYPSUM BOARD
H.C. HANDICAP
HDR. HEADER
HDWR. HARDWARE
HDWD. HARDWOOD
H.M. HOLOW METAL
HT. HEIGHT
H.W. HOT WATER
INSUL. INSULATION
JT. JOINT
LAM. LAMINATE
L.O. LINE OF
MAT. MATERIAL
MAX. MAXIMUM
MECH. MECHANICAL
MEMB. MEMBRANE
MFR. MANUFACTURER
MFY. MODIFY
MIN. MINIMUM
MTL. METAL
N.I.C. NOT IN CONTRACT
N.T.S. NOT TO SCALE
(N) NEW
O.C. ON CENTER
O.D. OVERFLOW DRAIN
OPP. OPPOSITE
P.G. PAINT GRADE
PLAS. PLASTIC
P-LAM. PLASTIC LAMINATE
PLY. PLYWOOD
POL. POLISHED
P.T. PRESSURE TREATED
PTD. PAINTED
PTN. PARTITION
R. RADIUS
R.D. ROOF DRAIN
RREINF. REINFORCED
REQ'D. REQUIRED
R.O. ROUGH OPENING
RM. ROOM
S.C.D. SEE CIVIL DRAWINGS
S.E.D. SEE ELECTRICAL DRAWINGS
S.L.D. SEE LANDSCAPE DRAWINGS
S.M.D SEE MECHANICAL DRAWINGS
S.P.D. SEE PLUMBING DRAWINGS
S.S.D. SEE STRUCTURAL DRAWINGS
SCHED. SCHEDULE
S.G. STAIN GRADE
S.S. STAINLESS STEEL
SIM. SIMILAR
SPEC. SPECIFICATIONS
STL. STEEL
STRUCT. STRUCTURAL
TEMP. TEMPERED
THK. THICK
TRANS. TRANSPARENT
T.O. TOP OF
T.O.P. TOP OF PLATE
T.S. TOP OF STEEL
T.W. TOP OF WALL
TYP. TYPICAL
U.O.N. UNLESS OTHERWISE NOTED
V.I.F. VERIFY IN FIELD
WD. WOOD

FLOOR AREA*

FAR Floor Area

Level	Area
OFFICE	
LEVEL 1	5,258 SF
LEVEL 2	39,968 SF
LEVEL 3	29,995 SF
LEVEL 4	29,332 SF
	104,554 SF
PARKING	
LEVEL 1	12,392 SF
	12,392 SF
RESIDENTIAL	
LEVEL 1	1,240 SF
LEVEL 5	7,757 SF
	8,997 SF
RETAIL	
LEVEL 1	17,658 SF
	17,658 SF
SHARED (ALL USES)	
LEVEL 1	4,296 SF
LEVEL 5	4,637 SF
	8,932 SF
TOTAL FAR AREA	152,533 SF

* PER SAN MATEO MUNICIPAL CODE SECTION 27.04.200:

1. FLOOR AREA IS MEASURED FROM THE EXTERIOR FAÇADE OF THE BUILDING'S WALL PLANES, FROM THE CENTERLINE OF PARTY WALLS, OR FROM A LINE THREE FEET FROM THE EDGE OF AN EAVE, WHICHEVER PRODUCES THE LARGEST FLOOR AREA. STORIES EXCEEDING 15 FEET IN HEIGHT SHALL BE COUNTED AS ADDITIONAL FLOOR AREA, WITH THE EXCEPTION THAT GROUND FLOOR RETAIL MAY BE UP TO 18 FEET IN HEIGHT MEASURED FROM FIRST FINISH FLOOR TO SECOND FINISH FLOOR BEFORE BEING COUNTED AS ADDITIONAL FLOOR AREA. FLOOR AREA ALSO INCLUDES ALL ACCESSORY STRUCTURES ON THE SITE AND BASEMENTS THAT MEET THE DEFINITION IN SUBSECTION (C)(5).
2. EXCLUSIONS. THE FOLLOWING ARE NOT COUNTED AS FLOOR AREA:
   a. COVERED OR OPEN COURTS, AND ATRIUMS, ON THE GROUND FLOOR, PROVIDED THAT THE AREA IS NOT USED AS DWELLING, OFFICE, RETAILING, OR REQUIRED ACCESS;
   b. IN MULTIPLE-LEVEL BUILDINGS, COVERED COURTS, IF THE RETAILING USES ARE OPEN TO THE PUBLIC. MULTIPLE-LEVEL STAIRWELLS AND ELEVATORS SHALL BE COUNTED ONLY AS GROUND FLOOR AREA;
   c. COVERED WALKWAYS AND BALCONIES;
   d. FIRST FLOORS, MECHANICAL AREAS, PENTHOUSE, AND TOP FLOORS ARE COUNTED ONLY ONCE AS FLOOR AREA, REGARDLESS OF HEIGHT;
   e. BICYCLE PARKING FACILITIES;
   f. FLOOR AREA DESIGNATED FOR DAY CARE CENTERS ACCESSORY TO AND INTENDED TO SERVE A MULTI-FAMILY, COMMERCIAL, OFFICE OR MANUFACTURING USE. SUCH FLOOR AREA MAY BE LOCATED WITHIN THE PRIMARY STRUCTURE OR MAY BE IN A FREESTANDING STRUCTURE ACCESSORY TO THE PRIMARY STRUCTURE;
   g. COVERED PARKING FOR OFFICE USE SHALL NOT BE COUNTED AS FLOOR AREA IN AREAS DELINEATED FOR EXCLUSION WITHIN AN ADOPTED PLAN, SUCH AS THE MARINER'S ISLAND SPECIFIC PLAN OR THE BAY MEADOWS SPECIFIC PLAN.
3. OFF-STREET PARKING AND LOADING. FLOOR AREA FOR DETERMINING OFF-STREET PARKING AND LOADING REQUIREMENTS AS CONTAINED IN CHAPTER 27.64, SHALL BE BASED ON PHYSICAL FLOOR SPACE AND SHALL NOT INCLUDE THE FOLLOWING:
   a. STORAGE AREAS EXCEPT FOR AREAS LOCATED WITHIN SELLING OR WORKING SPACE SUCH AS COUNTERS, RACKS, AND CLOSETS;
   b. UTILITY AREAS INCLUDING, BUT NOT LIMITED TO, ELEVATOR SHAFTS, TELEPHONE SWITCHING ROOMS, STAIRWELLS, REST ROOMS, AND HEATING AND COOLING ROOMS;
   c. ACCESSORY FACILITIES TO BE USED ONLY BY EMPLOYEES OF THE PRINCIPAL USES;
   d. OFF-STREET PARKING AND LOADING FACILITIES, INCLUDING AISLES, RAMPS, AND MANEUVERING SPACE;
   e. BASEMENT, ATTIC, OR MEZZANINE FLOOR AREA OTHER THAN AREA DEVOTED TO RETAILING ACTIVITIES, TO THE PRODUCTION OF PROCESSING OF GOODS, OR TO BUSINESS OR PROFESSIONAL OFFICES;
   f. FLOOR AREA DESIGNATED FOR DAY CARE CENTERS ACCESSORY TO AND INTENDED TO SERVE A MULTI-FAMILY, COMMERCIAL, OFFICE OR MANUFACTURING USE. SUCH FLOOR AREA MAY BE LOCATED WITHIN THE PRIMARY STRUCTURE OR MAY BE IN A FREESTANDING STRUCTURE ACCESSORY TO THE PRIMARY STRUCTURE;
   g. FLOOR AREA COMPUTED FOR BUILDING VOLUME. ADDITIONAL PARKING SHALL BE REQUIRED IN THE EVENT OF CHANGE OF EXCLUDED FLOOR AREAS INTO USES GENERATING PARKING.

SCOPE OF WORK

DEMOLISH THE EXISTING BUILDING AT 222 E. 4TH AVENUE BETWEEN ELLSWORTH AVENUE AND B STREET. CONSTRUCT A NEW FIVE-STORY BUILDING WITH TWO LEVELS OF BELOW-GRADE PARKING. THE BUILDING HOUSES 104,554 SF OF OFFICE SPACE, 17,658 SF OF RETAIL SPACE, AND 8,997 SF OF RESIDENTIAL SPACE (INCLUDING 10 RESIDENTIAL UNITS). THE PARKING GARAGE INCLUDES 12,392 SF ABOVE GRADE AND 89,519 SF BELOW GRADE, AND PROVIDES A TOTAL OF 221 PHYSICAL PARKING SPACES. THERE ARE TWO OUTDOOR TERRACES AT LEVEL 3, TWO TERRACES AT LEVEL 4, AND A ROOF DECK TOTALING 14,821 SF. THERE IS ALSO 1,515 SF OF COMMON USABLE OPEN SPACE ON THE ROOF LEVEL FOR THE RESIDENTIAL TENANTS.

H

PLANNING INFORMATION

1. SITE

ASSESSOR'S PARCEL NUMBERS	034-176-050, 034-176-070, 034-176-080, 034-176-090
ZONING	CBD/R
DOWNTOWN AREA PLAN	DOWNTOWN RETAIL CORE
PARKING	LIMITED PARKING ZONE
SITE AREA	49,478 SF

2. BUILDING HEIGHT

ALLOWABLE BUILDING HEIGHT	55'-0" MAX*
PROPOSED BUILDING HEIGHT	72'-0"

3. PARCEL COVERAGE AND OPEN SPACE

ALLOWABLE PARCEL COVERAGE	100%
PROPOSED PARCEL COVERAGE	SEE "PARCEL COVERAGE"
REQUIRED OPEN SPACE 1% OF FAR AREA EXCLUDING RESIDENTIAL AND PARKING)	1,317 SF
PROPOSED OPEN SPACE	1,455 SF
REQUIRED COMMON USABLE OPEN SPACE	120 SF PER UNIT = 1,200 SF
PROPOSED COMMON USABLE OPEN SPACE	1,515 SF

4. FLOOR AREA

MAX F.A.R.	3.0
ALLOWABLE FLOOR AREA	148,434 SF
PROPOSED FLOOR AREA	SEE "FLOOR AREA"

5. PARKING	**TOTAL**	**EVCS-READY**	**EVCS**
OFFICE REQUIRED	171	18	9
RETAIL REQUIRED	37	4	2
TOTAL REQUIRED	208	22	11
TOTAL PARKING PROVIDED	SEE "PARKING SUMMARY"		

6. BIKE PARKING	**SHORT TERM**	**LONG TERM**	**TOTAL**
TOTAL			
OFFICE REQUIRED	5	10	15
RETAIL REQUIRED	9	1	10
RESIDENTIAL REQUIRED	1	10	11
TOTAL REQUIRED	15	21	36
TOTAL BIKE PARKING PROVIDED	SEE "BIKE PARKING SUMMARY"		

*AN ADDITIONAL 33' OR 3 STORIES IS ALLOWED PER GOVERNMENT CODE § 65915(d)(2)(D)

H

PARCEL COVERAGE

Building Footprint	Parcel Coverage
40,844 SF	83%

BUILDING INFORMATION

1. CONSTRUCTION TYPE (CBC CH. 6) — **TYPE 1B**

2. USE AND OCCUPANCY (CBC CH. 3) — **A-3, B, M, R-2, S-2**

3. ALLOWABLE HEIGHT (CBC TABLE 504.3+4)
TABULATED MAX HEIGHT:
(NO HEIGHT INCREASE REQURIED)
180' / 12 STORIES (A-3)
180' / 12 STORIES (B)
180' / 12 STORIES (M)
180' / 12 STORIES (R-2)
180' / 12 STORIES (S-2)

4. ALLOWABLE AREA (CBC TABLE 506.2)
TABULATED MAX AREA:
(NO AREA INCREASE REQUIRED)
UL (A-3)
UL (B)
UL (M)
UL (R-2)
237,000 SF (S-2) - MOST RESTRICTIVE

5. ALLOWABLE BUILDING AREA (CBC SEC 506) — **UNLIMITED**
PER CBC 503.1.4, THE AREA OF OCCUPIED ROOFS SHALL NOT BE INCLUDED IN THE BUILDING AREA AS REGULATED BY SECTION 506.

PER CBC 506.1.3, LEVELS B1 AND B2 ARE CONSIDERED BASEMENTS. THE CUMULATIVE AREA OF THE TWO BASEMENT LEVELS ARE LESS THAN THE ALLOWABLE AREA FOR A SINGLE STORY GROUP S-2 OCCUPANCY AND THEREFORE NEED NOT BE INCLUDED IN THE TOTAL ALLOWABLE FLOOR AREA OF A BUILDING.

6. PROPOSED HEIGHT AND GROSS FLOOR AREA (CBC CHAPTER 2)

STORIES ABOVE GRADE: **5 STORIES**
MAXIMUM HEIGHT ABOVE GRADE: **72'-0"**
GROSS FLOOR AREA:

Gross Floor Area (Per CBC Ch. 2)

Level	Area
LEVEL 5	12,205 SF
LEVEL 4	30,684 SF
LEVEL 3	31,087 SF
LEVEL 2	40,841 SF
LEVEL 1	39,380 SF
TOTAL	154,196 SF

7. RATING REQUIREMENTS (CBC TABLE 601)

PRIMARY STRUCTURAL FRAME:	2 HOURS
EXTERIOR BEARING WALLS:	2 HOURS
INTERIOR BEARING WALLS:	2 HOURS
EXTERIOR NONBEARING WALLS:	0 HOURS
INTERIOR NONBEARING WALLS:	0 HOURS
FLOOR CONSTRUCTION:	2 HOURS
ROOF CONSTRUCTION:	2 HOURS
SHAFT ENCLOSURES	2 HOURS

PER CBC 713.4, SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE, AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY BASEMENTS BUT NOT ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THE FLOOR ASSEMBLY PENETRATED, BUT NEED NOT EXCEED 2 HOURS.

8. REQUIRED SEPARATIONS (CBC CH. 5)
OCCUPANCY SEPARATION (LEVELS B2-4) — 0 HOURS
PER CBC 508.3.2, THE PROPOSED BUILDING HEIGHT AND AREA FALLS WITHIN THE ALLOWABLE LIMITS OF THE MOST RESTRICTIVE USE, SO ALL OCCUPANCIES CAN BE CONSIDERED NONSEPARATED OCCUPANCIES. PER CBC 508.3.3, NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES.

SEPARATIONS WALLS (LEVEL 5) — 1 HOUR
PER CBC 420.2, WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER CBC 708.

9. FIRE PROTECTION (CBC CH. 9)
THIS BUILDING IS PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.

THIS BUILDING IS PROVIDED WITH AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM IN ACCORDANCE WITH CBC 907.

ISSUE HISTORY

DATE	DESCRIPTION
05/05/20	PRE-APPLICATION SET
10/21/20	PRE-APPLICATION RESUBMITTAL SET
03/19/21	PRE-APPLICATION RESUBMITTAL SET
10/15/21	PLANNING APPLICATION SET
02/04/22	PLANNING APPLICATION RESUBMITTAL SET
04/22/22	PLANNING APPLICATION RESUBMITTAL SET
06/15/22	PLANNING APPLICATION RESUBMITTAL SET

DATE	DESCRIPTION

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE DRAWINGS, AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
2. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
3. IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN LOCATING MATERIALS AND/OR EQUIPMENT, THE ARCHITECT'S DRAWINGS SHALL GOVERN.
4. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH SURFACES IN THE SAME PLANE.
5. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.
6. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
7. WORK AREAS TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH LANDLORD AND TENANT TO ENSURE SECURITY.
8. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
9. ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER OR TENANT UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
10. DO NOT SCALE THE DRAWINGS.
11. CONTRACTOR SHALL REPAIR OR REPLACE ALL LANDSCAPE PLANTING AND IRRIGATION DAMAGED THROUGH THE COURSE OF CONSTRUCTION, REPLACE CONTAMINATED OR COMPACTED SOILS, PROTECT ALL TREES TO REMAIN WITH RIGID METAL FENCING, AND REPAIR ALL DAMAGED PAVING SURFACES IN KIND. CONTRACTOR RESPONSIBLE FOR THE HEALTH AND PROTECTION OF ALL PLANTS WITHIN THE PROJECT FENCE LINE.
12. ALL DIMENSIONS SHALL BE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
13. DESIGN OF AUTOMATED SPRINKLER SYSTEM, SMOKE DETECTION SYSTEM, AND FIRE ALARM & COMMUNICATION SYSTEM SHALL BE PER CODE. SEE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND DOCUMENTS.
14. THE BUILDING FIRE SPRINKLER SYSTEM SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION ONCE COMPLETED. WHEN RENOVATIONS REQUIRE MODIFICATION OF A PORTION OF A FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE. WHEN IT IS NECESSARY TO SHUT DOWN THE ENTIRE SYSTEM, A FIRE WATCH SHALL BE KEPT ON SITE UNTIL THE SYSTEM IS RETURNED TO SERVICE IN COMPLIANCE WITH CFC SECTION 3304.5 & NFPA 241 SECTION 10.8.
15. EXIT SIGNS, EMERGENCY LIGHTING, ADDRESS POSTING, FIRE LANE MARKING, FIRE EXTINGUISHERS AND KNOX BOX LOCATION(S) TO BE FIELD VERIFIED BY FIRE INSPECTOR.

PARKING SUMMARY

Office Parking Schedule

	Count	Dimensions
LEVEL 1		
ACCESSIBLE STALL - VAN	1	9'-0" x 18'-0"
COMPACT STALL	3	8'-0" x 17'-0"
STANDARD STALL	16	8'-6" x 18'-0"
LEVEL B1		
ACCESSIBLE STALL - STANDARD	5	9'-0" x 18'-0"
ACCESSIBLE STALL - VAN	1	9'-0" x 18'-0"
COMPACT STALL	14	8'-0" x 17'-0"
EVCS - ACCESSIBLE	1	9'-0" x 18'-0"
EVCS - AMBULATORY	1	10'-0" x 18'-0"
EVCS - VAN ACCESSIBLE	1	12'-0" x 18'-0"
STANDARD STALL	31	8'-6" x 18'-0"
LEVEL B2		
COMPACT STALL	33	8'-0" x 17'-0"
EVCS - STANDARD	24	8'-6" x 18'-0"
STANDARD STALL	53	8'-6" x 18'-0"
TOTAL	184	

Retail Parking Schedule

	Count	Dimensions
LEVEL B1		
RETAIL - ACCESSIBLE STALL - STANDARD	1	9'-0" x 18'-0"
RETAIL - ACCESSIBLE STALL - VAN	1	9'-0" x 18'-0"
RETAIL - COMPACT STALL	12	8'-0" x 17'-0"
RETAIL - EVCS - ACCESSIBLE	1	9'-0" x 18'-0"
RETAIL - EVCS - STANDARD	4	8'-6" x 18'-0"
RETAIL - EVCS - VAN ACCESSIBLE	1	12'-0" x 18'-0"
RETAIL - STANDARD STALL	17	8'-6" x 18'-0"
TOTAL	37	

H

BIKE PARKING SUMMARY

Bike Parking Schedule

	Count
COMMERCIAL - LONG TERM	10
COMMERCIAL - SHORT TERM	5
RESIDENTIAL - LONG TERM	10
RESIDENTIAL - SHORT TERM	1
RETAIL - LONG TERM	1
RETAIL - SHORT TERM	14
TOTAL	41

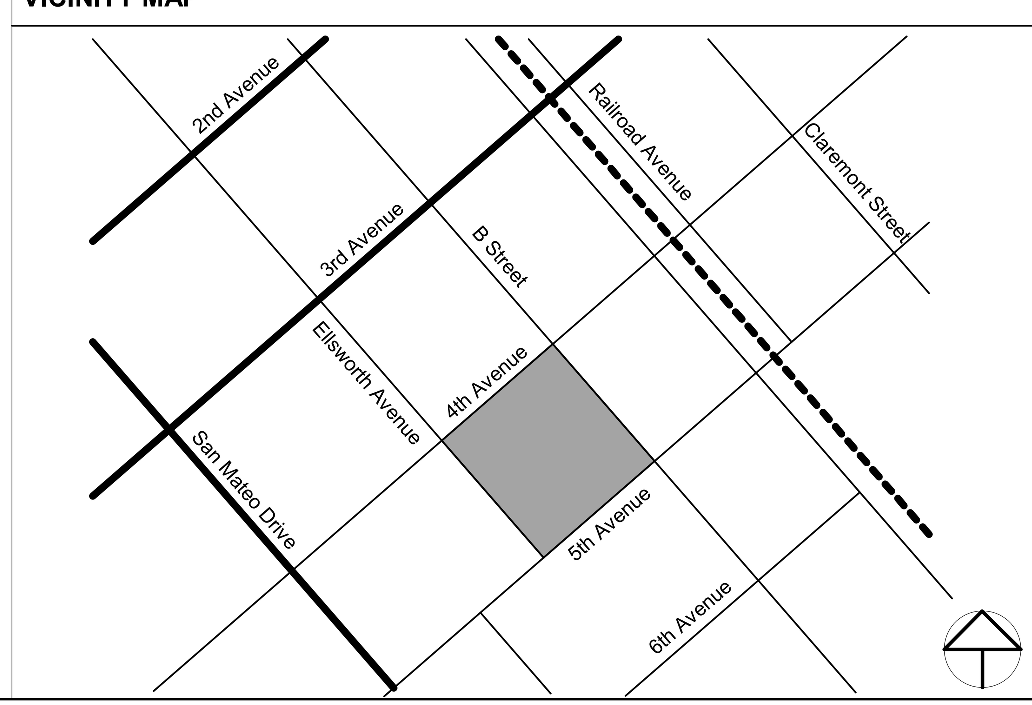
RESIDENTIAL UNIT SUMMARY

1-BED		
501	UNIT 1	568 SF
502	UNIT 2	568 SF
503	UNIT 3	568 SF
504	UNIT 4	568 SF
505	UNIT 5	597 SF
508	UNIT 8	597 SF
509	UNIT 9	568 SF
510	UNIT 10	568 SF
1-BED: 8		(575 SF AVERAGE)
STUDIO		
506	UNIT 6	439 SF
507	UNIT 7	439 SF
STUDIO: 2		
TOTAL UNITS: 10		

FIRE DEPARTMENT NOTES

- EMERGENCY RESPONDER RADIO COVERAGE - AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM MAY BE REQUIRED FOR THIS BUILDING. TESTING SHOULD OCCUR PRIOR TO CONSTRUCTION DUE TO CIRCUIT PROTECTION REQUIREMENTS THAT WILL AFFECT BUILDING DESIGN. A THIRD PARTY TESTING GRID REPORT SHALL BE PROVIDED TO THE SAN MATEO CONSOLIDATED FIRE DEPARTMENT BEFORE THE FINAL INSPECTION. (FIRE)
- BARRICADES ACROSS EMERGENCY ACCESS ROADS - THE INSTALLATION OR USE OF BARRICADES, FENCES, OR GATES ACROSS EMERGENCY VEHICLE ACCESS ROADS DURING CONSTRUCTION SHALL HAVE PRIOR APPROVAL OF THE SAN MATEO CONSOLIDATED FIRE CHIEF, OR HIS/HER DESIGNEE. (FIRE)
- FIRE SPRINKLER SYSTEM - THE APPLICANT SHALL INSTALL A FIRE SPRINKLER SYSTEM THROUGHOUT THE SINGLE-FAMILY DWELLING IN ACCORDANCE WITH NFPA 13D OR THE CALIFORNIA RESIDENTIAL CODE. FIRE SPRINKLER PLANS SHALL BE A DEFERRED SUBMITTAL. THE FIRE SPRINKLER PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY THE FIRE MARSHAL OR HIS/HER DESIGNEE PRIOR TO ISSUANCE OF A FIRE SPRINKLER PERMIT. (FIRE)
- REMOTE POWER DISCONNECT - PROVIDE A KEY SWITCH TO DISCONNECT (SHUNT) THE BUILDING ELECTRICAL POWER BY FIRE DEPARTMENT PERSONNEL. CONTACT THE BUREAU OF FIRE PROTECTION AND LIFE SAFETY TO COORDINATE THE EXACT LOCATION FOR SUCH DEVICES. THE KEY SWITCH LOCATION SHALL BE SUBMITTED TO THE FIRE MARSHAL OR HIS/HER DESIGNEE FOR REVIEW AND APPROVAL PRIOR TO THE FINAL INSPECTION. (FIRE)
- CODE CONFORMANCE - THE APPLICANT SHALL INDICATE ON ALL BUILDING PERMIT PLANS THAT ALL CONSTRUCTION SHALL MEET CURRENT CODE STANDARDS AT THE TIME OF BUILDING PERMIT SUBMITTAL. THE BUILDING PERMIT PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY THE FIRE MARSHAL OR HIS/HER DESIGNEE PRIOR TO ISSUANCE OF THE BUILDING PERMIT. (FIRE)
- WATER SUPPLY - ALL CITY/DISTRICT OWNED WATER SYSTEMS AND ON-SITE WATER SYSTEMS SHALL BE LOOPED WITH TWO POINTS OF CONNECTION TO THE SATISFACTION OF THE CITY ENGINEER. THEY SHALL MEET THE REQUIREMENTS OF STATE DEPARTMENT OF HEALTH SERVICES, CITY PUBLIC WORKS AND THE FIRE MARSHAL. THE WATER SUPPLY INFORMATION SHALL BE SUBMITTED TO THE FIRE MARSHAL OR HIS/HER DESIGNEE FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. (FIRE)
- DEMOLITION - BUILDING(S) UNDER CONSTRUCTION OR DEMOLITION SHALL COMPLY WITH THE CALIFORNIA FIRE CODE CH. 33 DURING ALL PHASES OF CONSTRUCTION OF THE PROJECT. (FIRE)
- EGRESS - ADJACENT BUILDINGS/PROPERTIES SHALL NOT HAVE THEIR REQUIRED EGRESS RESTRICTED OR COMPROMISED AT ANY TIME DURING THE CONSTRUCTION OF THIS PROJECT. (FIRE)
- SUBMITTALS - THE APPLICANT SHALL SUBMIT ALL FIRE PLANS IN CONJUNCTION WITH THE SUPERSTRUCTURE BUILDING PERMIT PLANS. THE PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY THE FIRE MARSHAL OR HIS/HER DESIGNEE PRIOR TO ISSUANCE OF THE SUPERSTRUCTURE BUILDING PERMIT PLANS. (FIRE)
- STANDPIPES - IN BUILDINGS REQUIRED TO HAVE STANDPIPES BY SECTION 905.3.1, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED FOR USE DURING CONSTRUCTION OR DEMOLITION. (FIRE)
- FIRE HYDRANTS - THE APPLICANT SHALL INSTALL ______ PUBLIC/PRIVATE FIRE HYDRANT(S) SPACED AS PER THE SMC FIRE ORDINANCE. ALL FIRE HYDRANTS USED FOR FIRE FLOW FOR THE PROJECT SITE SHALL BE UPGRADED TO A CLOW MODEL 960 OR EQUIVALENT CONSISTING OF (2) 2½ INCH AND (1) 4½ INCH OUTLET. EACH HYDRANT SHALL BE CAPABLE OF PROVIDING A MINIMUM FIRE FLOW OF 1500 GPM AT 20 PSI RESIDUAL PRESSURE. WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH WATER PURVEYOR'S SPECIFICATIONS. THE WATER SUPPLY SHALL BE TESTED, FLUSHED AND APPROVED OPERABLE PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIALS BEING PLACED ON THE SITE. STAGED CONSTRUCTION SHALL INSURE THAT THE NECESSARY WATER SUPPLY IS MAINTAINED FROM STAGE TO STAGE IN THE CONSTRUCTION PLANNING. THE LETTER SHALL BE SUBMITTED TO THE FIRE MARSHAL OR HIS/HER DESIGNEE FOR REVIEW AND APPROVAL BEFORE THE ISSUANCE OF A FIRE SPRINKLER PERMIT. (FIRE)
- FIRE FLOW - THE APPLICANT SHALL PROVIDE A FIRE FLOW OF _____ GPM FOR _____ HOURS. THE FIRE FLOW INFORMATION SHALL BE SUBMITTED TO THE FIRE MARSHAL OR HIS/HER DESIGNEE FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. (FIRE)
- ADDRESS NUMBERS - THE APPLICANT SHALL POST TEMPORARY ADDRESS NUMBERS ON EACH BUILDING AT THE PROJECT SITE THAT MUST BE EASILY VISIBLE FROM THE STREET OR FIRE ACCESS ROAD DURING ALL PHASES OF CONSTRUCTION OF THE PROJECT. (FIRE)
- FIRE CONTROL ROOM - AN APPROVED FIRE CONTROL ROOM SHALL BE PROVIDED FOR THIS BUILDING. THERE SHALL BE DIRECT ACCESS TO THE ROOM DIRECTLY FROM THE EXTERIOR OF THE BUILDING. REFER TO LOCAL ORDINANCE FOR DETAILS. THE FIRE CONTROL ROOM SHALL BE INDICATED ON THE BUILDING PERMIT SET OF PLANS SUBMITTED TO THE FIRE MARSHAL OR HIS/HER DESIGNEE FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. (FIRE)

VICINITY MAP



APPLICABLE CODES

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE CONSTRUCTION REQUIREMENTS OF THIS PROJECT IN ACCORDANCE WITH THE FOLLOWING FEDERAL, STATE AND LOCAL CODES, INCLUDING THEIR MOST RECENT AMENDMENTS AND REVISIONS.

THE CITY OF SAN MATEO ADOPTS THE FOLLOWING CODES, ORDINANCES, RULES AND REGULATIONS (INCLUDING ERRATA AND SUPPLEMENTS OF THE BELOW CODES):

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
2019 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)
2019 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal
F	04/22/22	Planning Resubmittal
G	06/15/22	Planning Resubmittal
H	07/27/22	Planning Resubmittal

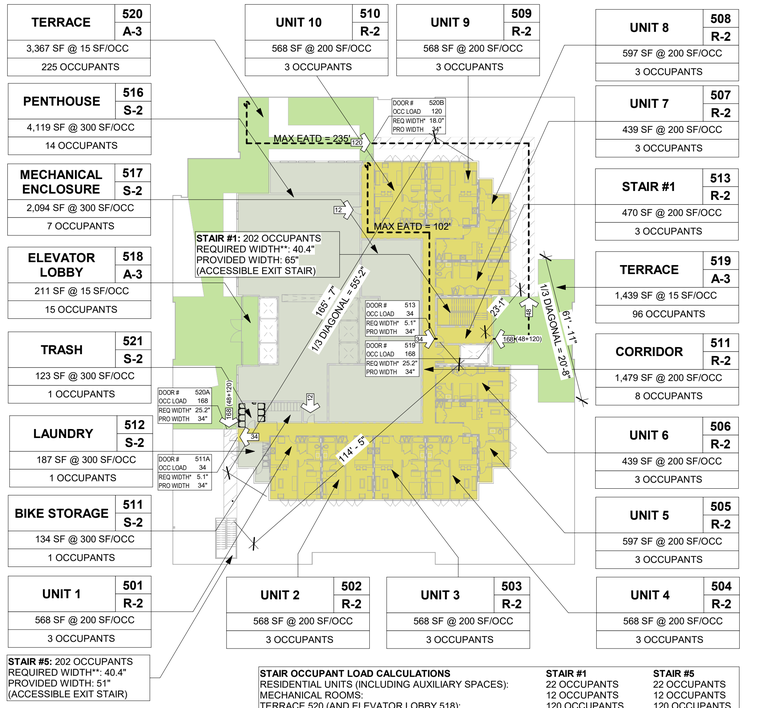
PROJECT NUMBER
16010.00

SHEET TITLE
GENERAL NOTES AND PROJECT INFORMATION

SCALE
As indicated

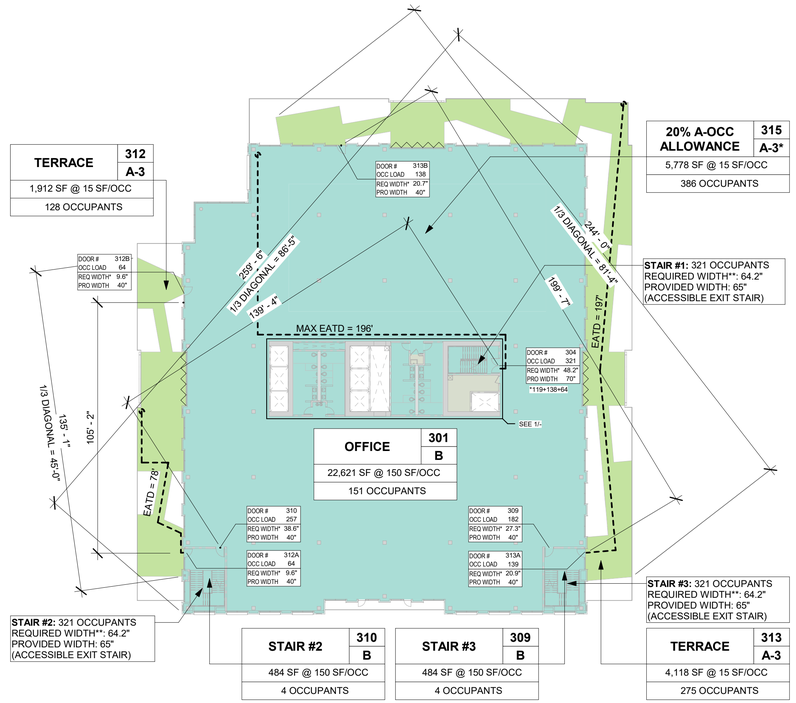
SHEET NUMBER

A-002

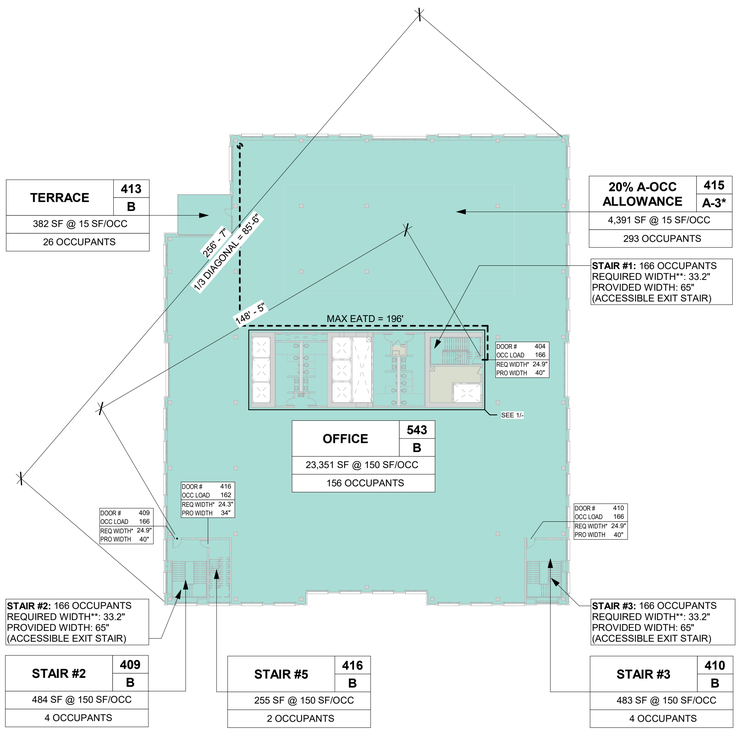


STAIR OCCUPANT LOAD CALCULATIONS	STAIR #1	STAIR #5
RESIDENTIAL UNITS (INCLUDING AUXILIARY SPACES):	22 OCCUPANTS	22 OCCUPANTS
MECHANICAL ROOMS:	12 OCCUPANTS	12 OCCUPANTS
TERRACE 520 (AND ELEVATOR LOBBY 518):	120 OCCUPANTS	120 OCCUPANTS
TERRACE 519:	48 OCCUPANTS	48 OCCUPANTS
TOTAL:	202 OCCUPANTS	202 OCCUPANTS

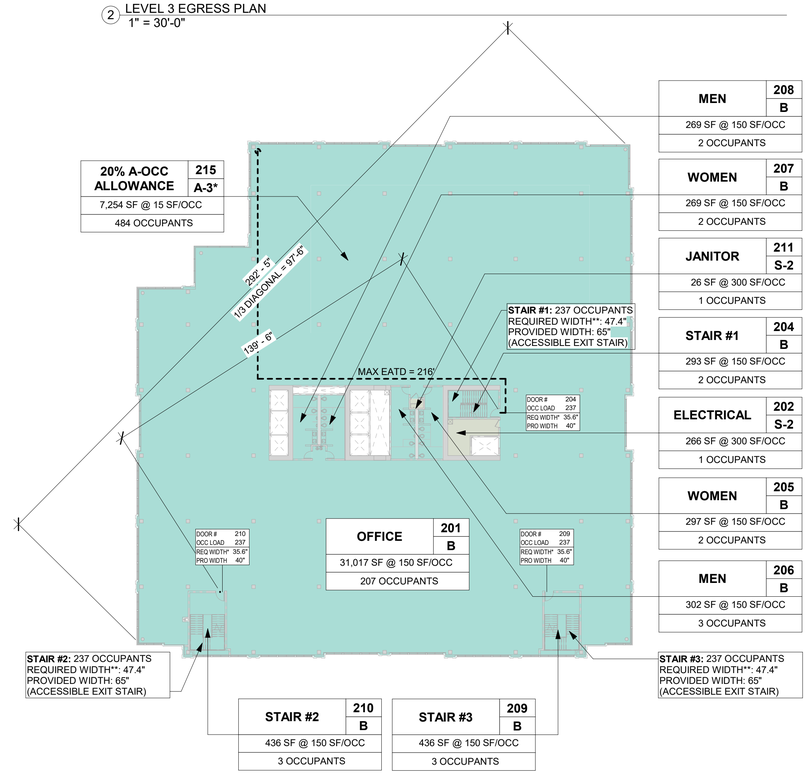
4 LEVEL 5 EGRESS PLAN
1" = 30'-0"



2 LEVEL 3 EGRESS PLAN
1" = 30'-0"



3 LEVEL 4 EGRESS PLAN
1" = 30'-0"



1 LEVEL 2 EGRESS PLAN
1" = 30'-0"

EGRESS LEGEND

- PATH OF TRAVEL
- COMMON PATH OF TRAVEL
- POINT OF DECISION (END OF COMMON PATH OF TRAVEL)
- FEC — FIRE EXTINGUISHER CABINET WITH MINIMUM 4A-40B:C FIRE EXTINGUISHER
- FE — FIRE EXTINGUISHER (MINIMUM 4A-40B:C) FIRE INSPECTOR TO VERIFY LOCATION AT TIME OF ROUGH INSPECTION

EGRESS SUMMARY

CBC TABLE 1006.3.1 NUMBER OF EXITS PER STORY

TWO EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED FROM ANY STORY WITH AN OCCUPANT LOAD GREATER THAN 1 AND LESS THAN 500. THREE EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED FROM ANY SPACE WITH AN OCCUPANT LOAD GREATER THAN 500 AND LESS THAN 1,000.

CBC TABLE 1006.2.1 COMMON PATH OF EGRESS TRAVEL
MAX ALLOWABLE (SPRINKLERED):
75' FOR GROUP "A-3" AND "M" OCCUPANCIES
100' FOR GROUP "B" OCCUPANCY
125' FOR GROUP "R-2" OCCUPANCY
100' FOR GROUP "S-2" OCCUPANCY

CBC TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE
MAX ALLOWABLE (SPRINKLERED):
250' FOR GROUP "A-3" AND "M" OCCUPANCIES
300' FOR GROUP "B" OCCUPANCY
250' FOR GROUP "R-2" OCCUPANCY
400' FOR GROUP "S-2" OCCUPANCY

CBC 1005 MEANS OF EGRESS SIZING
IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND AN EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM:
1. THE CAPACITY OF EGRESS STAIRWAYS = 0.2" PER OCCUPANT SERVED*
2. THE CAPACITY OF ALL OTHER EGRESS COMPONENTS = 0.15" PER OCCUPANT SERVED**

* PER CBC 1020.2 AND 1024.2, THE MINIMUM WIDTH OF ALL CORRIDORS AND EXIT PASSAGEWAYS SHALL BE 44". PER CBC 1010.1.1, ALL MEANS OF EGRESS DOORS SHALL PROVIDE A MINIMUM CLEAR OPENING OF 32" AND A MAXIMUM DOOR LEAF WIDTH OF 48". ALL MEANS OF EGRESS DOORS SHALL PROVIDE A MINIMUM CLEAR OPENING HEIGHT OF 80".
** PER CBC 1011.2, THE MINIMUM WIDTH OF ALL EGRESS STAIRWAYS SHALL BE 44".

CBC TABLE 1004.5
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

Egress Schedule Levels 2-Roof			
Occupancy	Area	Load Factor	Occupant Load
LEVEL 5			
A-3	5,016 SF	15	336
R-2	7,431 SF	200	41
S-2	7,173 SF	300	26
	19,620 SF		403
LEVEL 4			
A-3*	4,391 SF	15	293
B	382 SF	15	26
B	26,003 SF	150	177
S-2	291 SF	300	2
	31,066 SF		498
LEVEL 3			
A-3	6,030 SF	15	403
A-3*	5,778 SF	15	386
B	25,018 SF	150	170
S-2	291 SF	300	2
	37,117 SF		961
LEVEL 2			
A-3*	7,254 SF	15	484
B	33,318 SF	150	224
S-2	291 SF	300	2
	40,863 SF		710

*NOTE: THIS A-3 OCCUPANCY ALLOWANCE IS A PLACEHOLDER FOR CONFERENCE ROOMS, BREAK ROOMS, ETC THAT MAY BE PART OF A FUTURE TI. IT IS INCLUDED HERE TO ENSURE THAT ALL EGRESS COMPONENTS ARE SIZED APPROPRIATELY FOR THIS FUTURE USE. IT HAS NOT BEEN USED TO DETERMINE OCCUPANCY SEPARATIONS.

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	02/04/22	Planning Resubmittal
E	04/22/22	Planning Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
EGRESS AND OCCUPANCY

SCALE
As indicated

SHEET NUMBER
A-003B

PLUMBING FIXTURE SUMMARY

Plumbing Fixture Occupant Load				
Occupancy	Area	P Load Factor	P Occupant Load	P Occupant Load Per Sex
LEVEL 5				
A-3	3,367 SF	30	113	56.5
	3,367 SF		113	56.5
LEVEL 4				
A-3*	4,391 SF	30	147	73.5
B	382 SF	30	13	6.5
B	23,351 SF	200	117	58.5
	28,123 SF		277	138.5
LEVEL 3				
A-3	6,030 SF	30	202	101
A-3*	5,778 SF	30	193	96.5
B	22,621 SF	200	114	57
	34,429 SF		509	254.5
LEVEL 2				
A-3*	7,254 SF	30	242	121
B	31,017 SF	200	156	78
	38,271 SF		398	199
LEVEL 1				
B	1,751 SF	200	9	4.5
	1,751 SF		9	4.5

CPC TABLE 422.1 MINIMUM PUMBING FACILITIES

	Level 5 + 4	Level 3	Level 2	Level 1
A-3 Occupancy				
Occupant Load Per Sex	130.00	198.00	121.00	0.00
Water Closet (M)	1.30	1.98	1.21	0.00
Water Closet (F)	3.30	3.98	3.21	0.00
Urinal	1.30	1.98	1.21	0.00
Lavatory (M)	0.65	0.99	0.61	0.00
Lavatory (F)	1.30	1.98	1.21	0.00
Drinking Fountain	1.04	1.58	0.97	0.00
B Occupancy Terrace				
Occupant Load Per Sex	7.00	0.00	0.00	0.00
Water Closet (M)	0.07	0.00	0.00	0.00
Water Closet (F)	0.28	0.00	0.00	0.00
Urinal	0.07	0.00	0.00	0.00
Lavatory (M)	0.04	0.00	0.00	0.00
Lavatory (F)	0.07	0.00	0.00	0.00
Drinking Fountain	0.06	0.00	0.00	0.00
B Occupancy				
Occupant Load Per Sex	59.00	57.00	78.00	5.00
Water Closet (M)	1.18	1.14	1.56	0.10
Water Closet (F)	3.18	3.14	3.56	0.33
Urinal	0.59	0.57	0.78	0.05
Lavatory (M)	0.79	0.76	1.04	0.07
Lavatory (F)	1.18	1.14	1.56	0.10
Drinking Fountain	0.79	0.76	1.04	0.07
Total				
Water Closet (M)	**3.00**	**4.00**	**3.00**	**1.00**
Water Closet (F)	**7.00**	**8.00**	**7.00**	**1.00**
Urinal	**2.00**	**3.00**	**2.00**	**1.00**
Lavatory (M)	**2.00**	**2.00**	**2.00**	**1.00**
Lavatory (F)	**3.00**	**4.00**	**3.00**	**1.00**
Drinking Fountain	**2.00**	**3.00**	**3.00**	**1.00**

PLUMBING FIXTURES PROVIDED

LEVEL 1

1 SINGLE OCCUPANCY RESTROOM*

*PER CPC 422.2 EXCEPTION 2, ONE TOILET FACILITY FOR USE BY NO MORE THAN ONE PERSON AT A TIME SHALL BE PERMITTED FOR USE BY BOTH SEXES IN OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS.

NOTE: RESTROOMS FOR M-OCCUPANCY ARE NOT PROVIDED IN BASE BUILDING AND WILL BE INCLUDED UNDER SEPERATE TI PERMIT.

LEVEL 2

WATER CLOSETS (M):	4 FIXTURES
WATER CLOSETS (F):	8 FIXTURES
URINALS:	4 FIXTURES
LAVATORIES (M):	4 FIXTURES
LAVATORIES (F):	4 FIXTURES
DRINKING FOUNTAINS:	3 FIXTURES

LEVEL 3

WATER CLOSETS (M):	4 FIXTURES
WATER CLOSETS (F):	8 FIXTURES
URINALS:	4 FIXTURES
LAVATORIES (M):	4 FIXTURES
LAVATORIES (F):	4 FIXTURES
DRINKING FOUNTAINS:	3 FIXTURES

LEVEL 4

WATER CLOSETS (M):	4 FIXTURES
WATER CLOSETS (F):	8 FIXTURES
URINALS:	4 FIXTURES
LAVATORIES (M):	4 FIXTURES
LAVATORIES (F):	4 FIXTURES
DRINKING FOUNTAINS:	3 FIXTURES

LEVEL 5

WATER CLOSETS (M):	NONE
WATER CLOSETS (F):	NONE
URINALS:	NONE
LAVATORIES (M):	NONE
LAVATORIES (F):	NONE
DRINKING FOUNTAINS:	NONE

*PER CBC 2902.3.3, THE REQUIRED TOILET FACILITIES SHALL BE LOCATED NOT MORE THAN ONE STORY ABOVE OR BELOW THE SPACE REQUIRED TO BE PROVIDED WITH TOILET FACILITIES. THE TOILET FACILITIES FOR THE OFFICE ROOF DECK ARE PROVIDED ON LEVEL 4, AND THE CALCULATIONS FOR THE REQUIRED NUMBER OF FIXTURES ON LEVEL 4 INCLUDE THE COMBINED OCCUPANT LOADS OF LEVELS 4 AND 5.

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	04/22/22	Planning Resubmittal

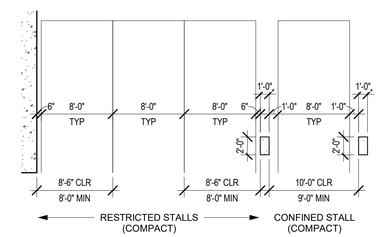
PROJECT NUMBER
16010.00

SHEET TITLE
PLUMBING FIXTURE CALCULATIONS

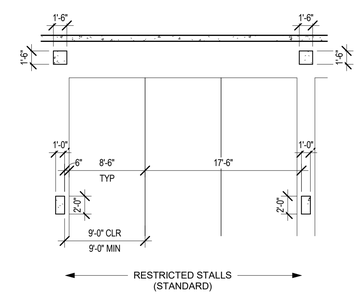
SCALE
1/16" = 1'-0"

SHEET NUMBER

A-004



2 STALL CLEARANCES - COMPACT
1/8" = 1'-0"



1 STALL CLEARANCES - STANDARD
1/8" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	03/19/21	Pre-App Resubmittal

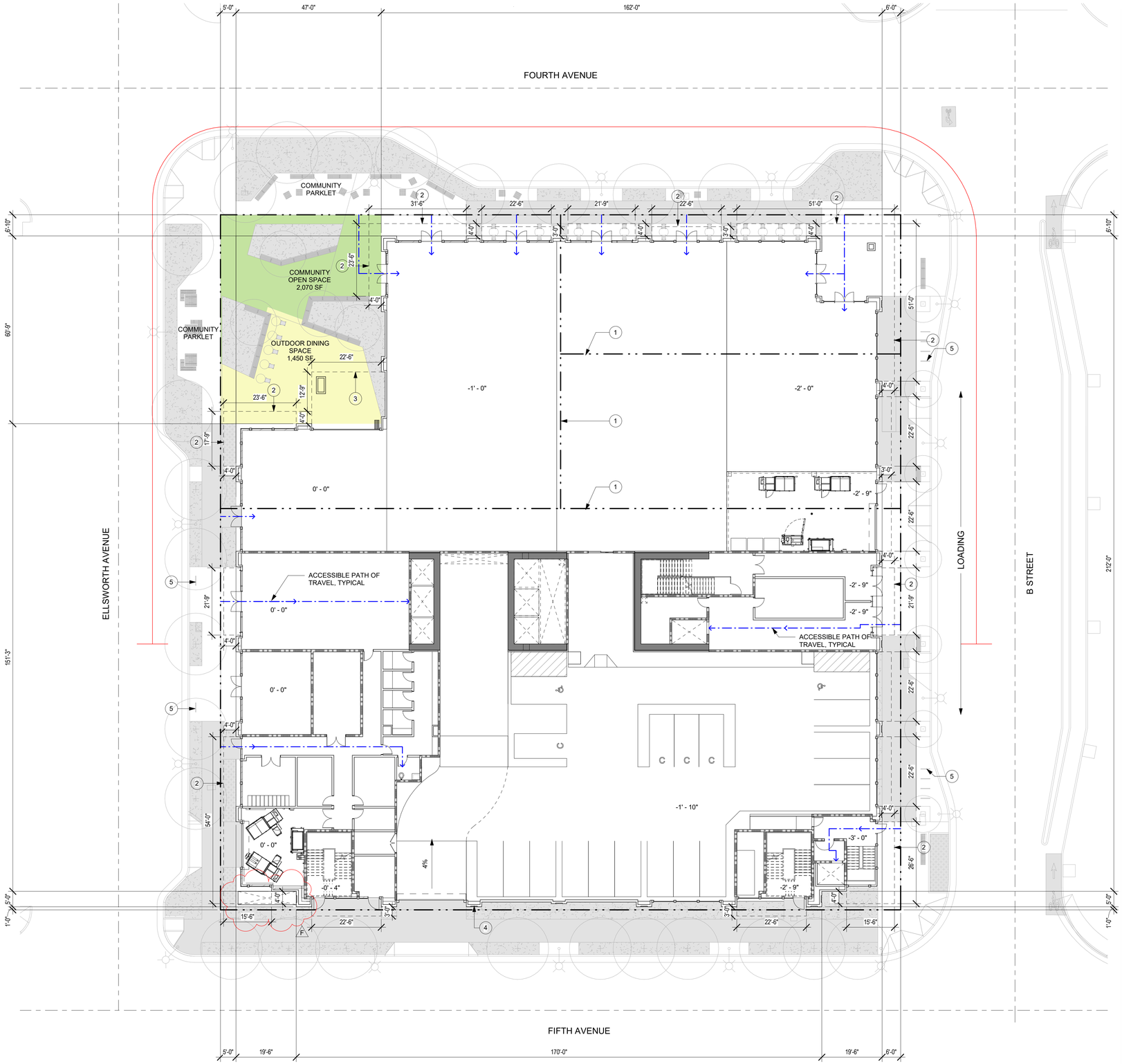
PROJECT NUMBER
16010.00

SHEET TITLE
PARKING DETAILS

SCALE
1/8" = 1'-0"

SHEET NUMBER

A-005



1 LEVEL 1 SITE PLAN
1/16" = 1'-0"

GENERAL NOTES

1. ACCESSIBLE PATHS OF TRAVEL:
   A. ARE CONTINUOUSLY ACCESSIBLE
   B. HAVE MAX. 1/2" CHANGES IN ELEVATION WITH A 1:2 BEVEL OR A RAMP PER CBC 11B-405
   C. 48" MIN. WIDE
   D. HAVE A MAX. RUNNING SLOPE OF 1:20 (5%) AND A MAX. CROSS SLOPE OF 1:50 (2%) PER CBC 403.3.
   E. SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS. WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL ALSO BE INTERIOR.
2. PER CBC 11B-502.4 MAX. PERMITTED SLOPE OF ACCESSIBLE PARKING SPACE AND ACCESS AISLES IS 2% IN ANY DIRECTION

LEGEND

ACCESSIBLE PATH OF TRAVEL

APPROXIMATE EXTENT OF LIMITED PARKING ZONE

SHEET NOTES

Key Value	Keynote Text
1	THE PROJECT PROPOSES A LOT TIE AGREEMENT BETWEEN THE PROPERTY OWNERS OF THE FOUR LOTS THAT MAKE UP THE PROJECT SITE. THEREFORE, THE INTERIOR LOT LINES SHALL NOT BE USED TO DETERMINE THE FIRE SEPARATION REQUIREMENTS OF THE CALIFORNIA BUILDING CODE.
2	EXTENT OF CANOPY (ABOVE)
3	EXTENT OF FLOOR (ABOVE)
4	AUDIO/VISUAL PEDESTRIAN WARNING SIGN MOUNTED TO FACE OF BUILDING COLUMN, CALIBRATED TO NOT DISTURB RESIDENTIAL TENANTS ACROSS 5TH AVENUE.
5	BIKE RACK, S.L.D.

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal
F	06/15/22	Planning Resubmittal

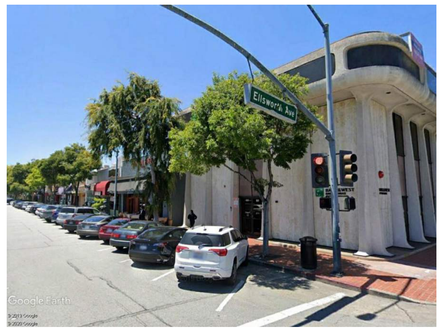
PROJECT NUMBER
16010.00

SHEET TITLE
SITE PLAN

SCALE
1/16" = 1'-0"

SHEET NUMBER

A-101



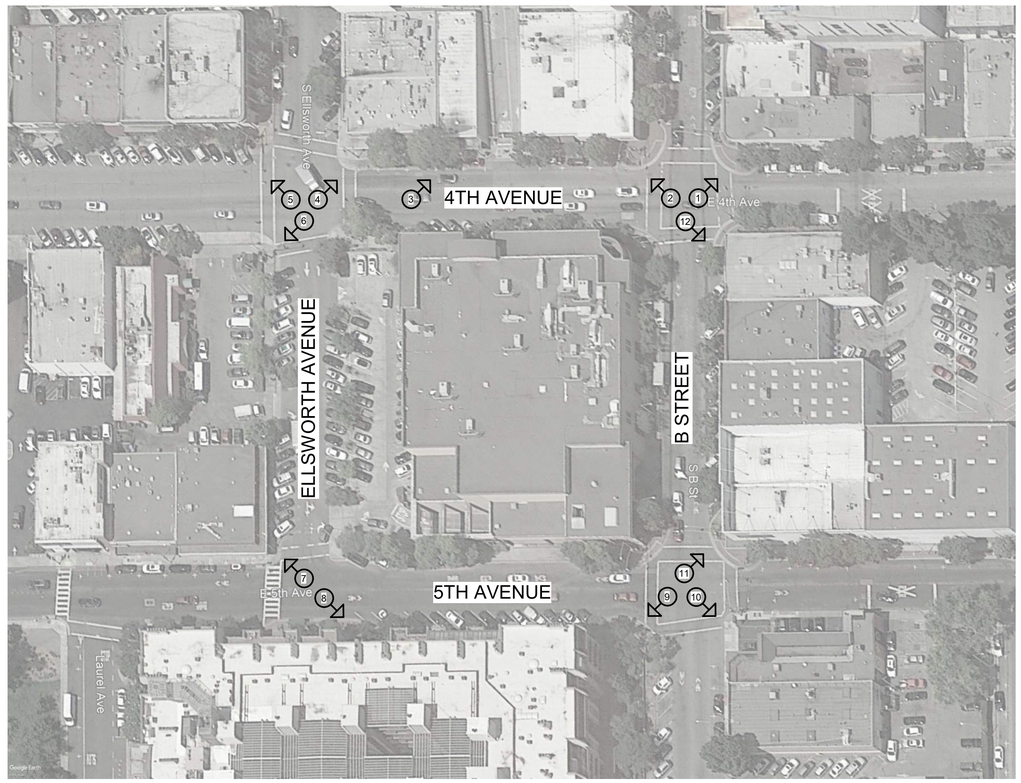
5

4

3

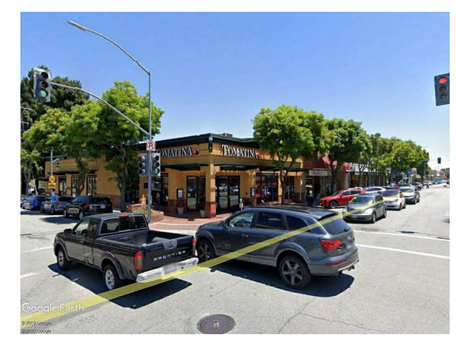
2

6



1

7



12

8

9

10

11

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
CONTEXT IMAGES

SCALE

SHEET NUMBER

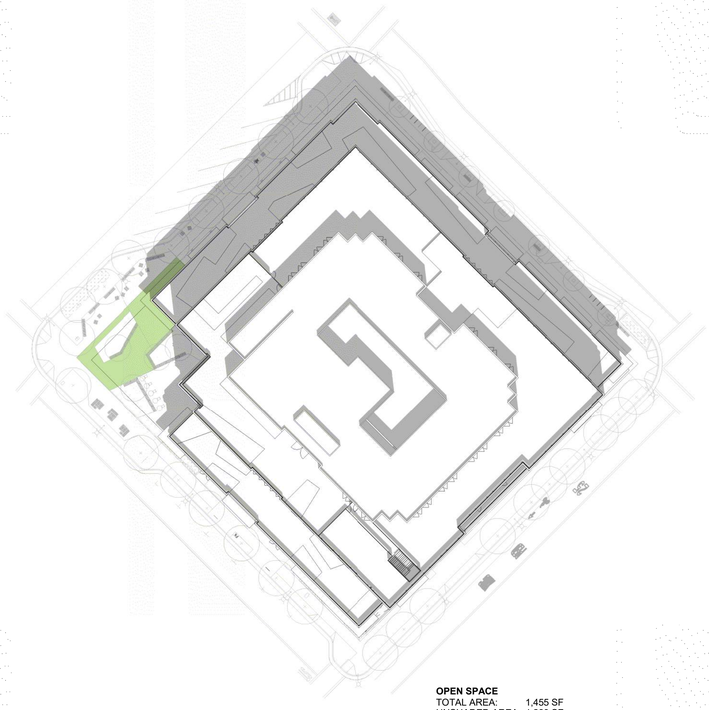
A-102

OPEN SPACE
TOTAL AREA: 1,455 SF
UNSHADED AREA: 1,455 SF
UNSHADED %: 100%

4 Spring, 2PM
1" = 40'-0"

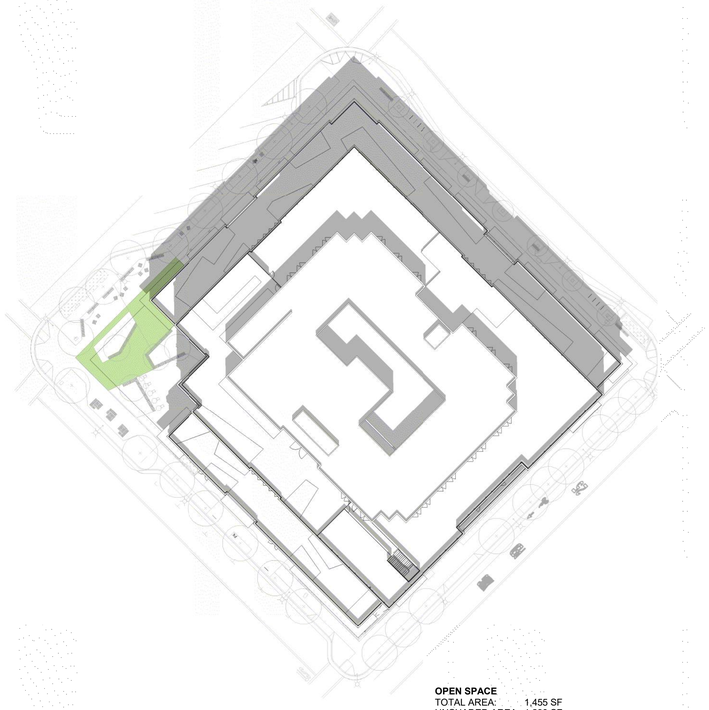
OPEN SPACE
TOTAL AREA: 1,455 SF
UNSHADED AREA: 1,455 SF
UNSHADED %: 100%

2 Fall, 2PM
1" = 40'-0"



OPEN SPACE
TOTAL AREA: 1,455 SF
UNSHADED AREA: 1,280 SF
UNSHADED %: 88%

3 Spring, 12PM
1" = 40'-0"



OPEN SPACE
TOTAL AREA: 1,455 SF
UNSHADED AREA: 1,290 SF
UNSHADED %: 89%

1 Fall, 12PM
1" = 40'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	10/15/21	Planning Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
SHADOW STUDIES

SCALE
1" = 40'-0"

SHEET NUMBER

A-103

1 LEVEL 1
3/32" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal
F	04/22/22	Planning Resubmittal
G	06/15/22	Planning Resubmittal

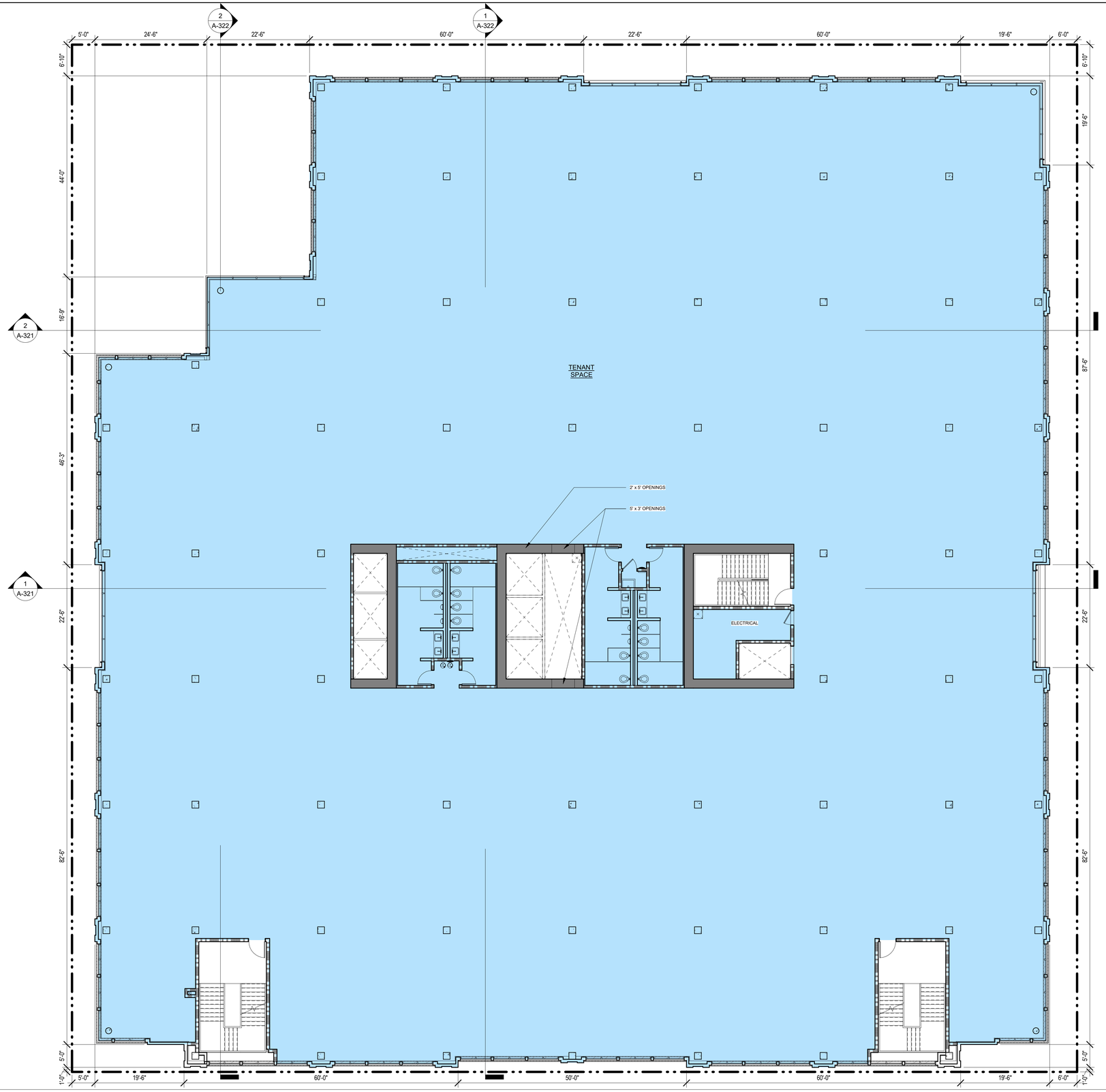
PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL 1 FLOOR PLAN

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-201



1 LEVEL 2
3/32" = 1'-0"

OFFICE

* NOT INCLUDED IN GROSS FLOOR AREA

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal

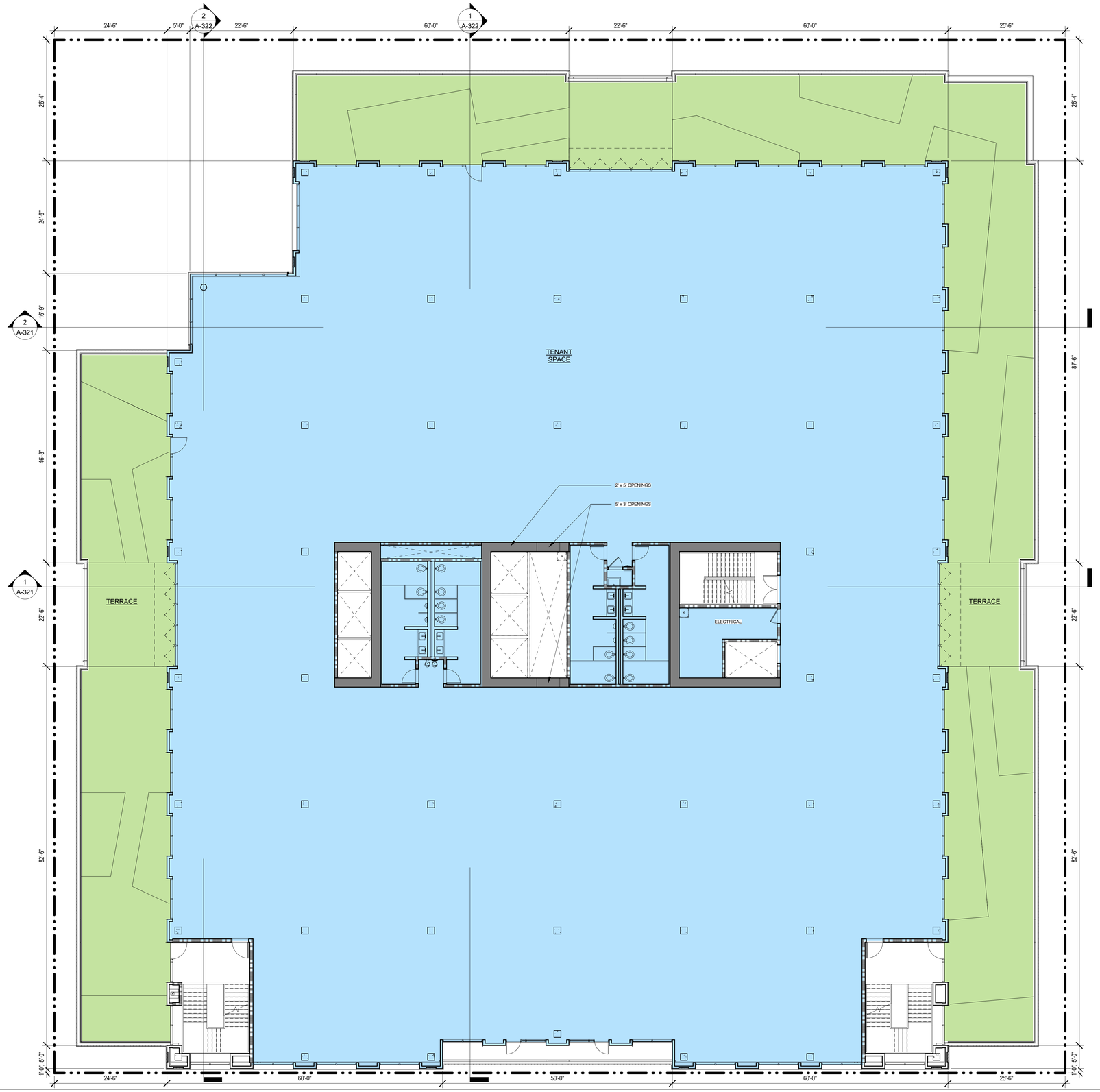
PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL 2 FLOOR PLAN

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-202



1 LEVEL 3
3/32" = 1'-0"

OFFICE

TERRACE*

* NOT INCLUDED IN GROSS FLOOR AREA

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal

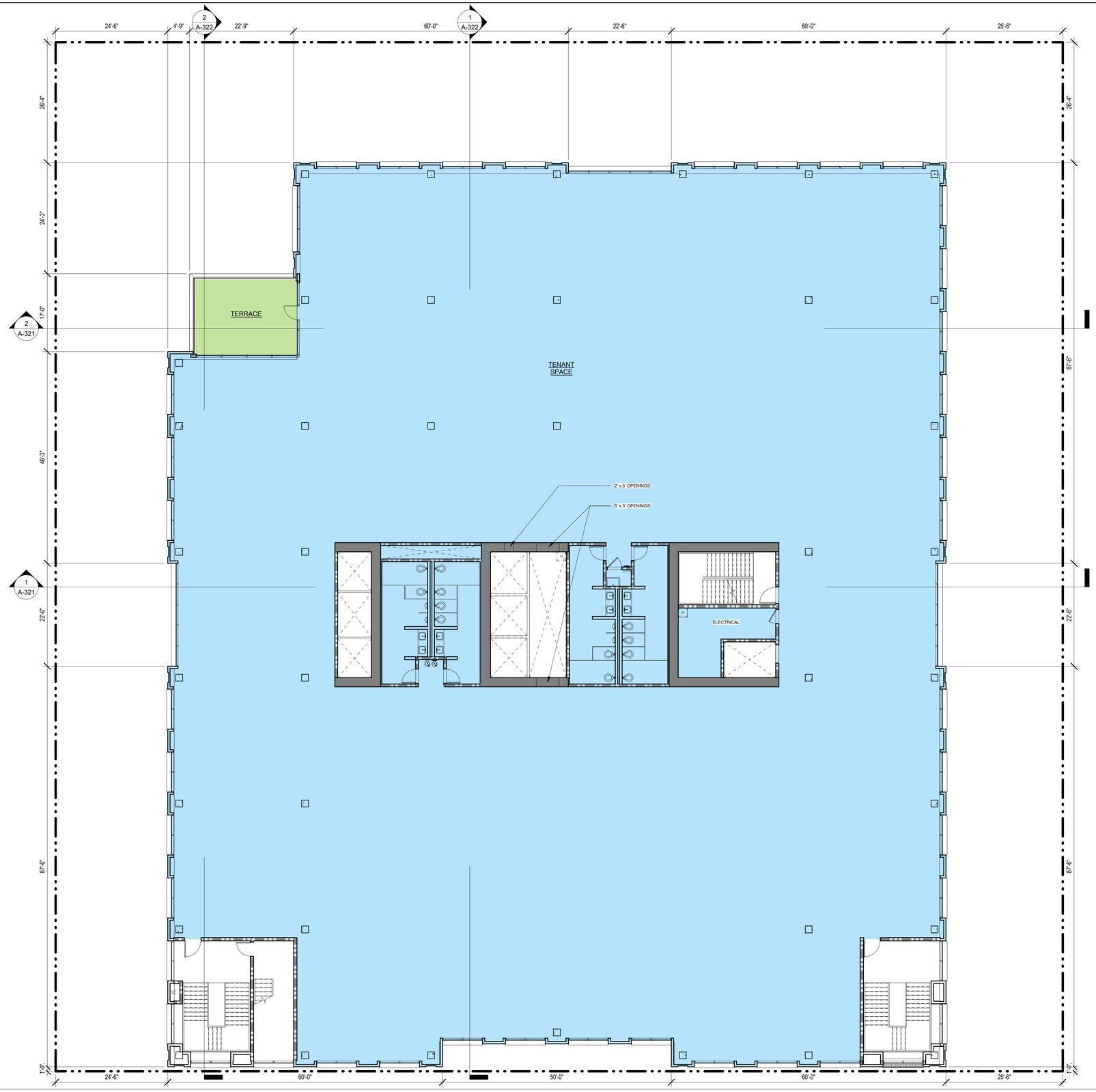
PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL 3 FLOOR PLAN

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-203



1 LEVEL 4
3/32" = 1'-0"

OFFICE

TERRACE*

* NOT INCLUDED IN GROSS FLOOR AREA

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL 4 FLOOR PLAN

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-204

1 LEVEL 5
3/32" = 1'-0"

EGRESS PATHWAY*
PLANTING*
RESIDENTIAL
RESIDENTIAL COMMON OPEN SPACE*
SHARED (ALL USES)
TERRACE*

* NOT INCLUDED IN GROSS FLOOR AREA

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal
F	04/22/22	Planning Resubmittal

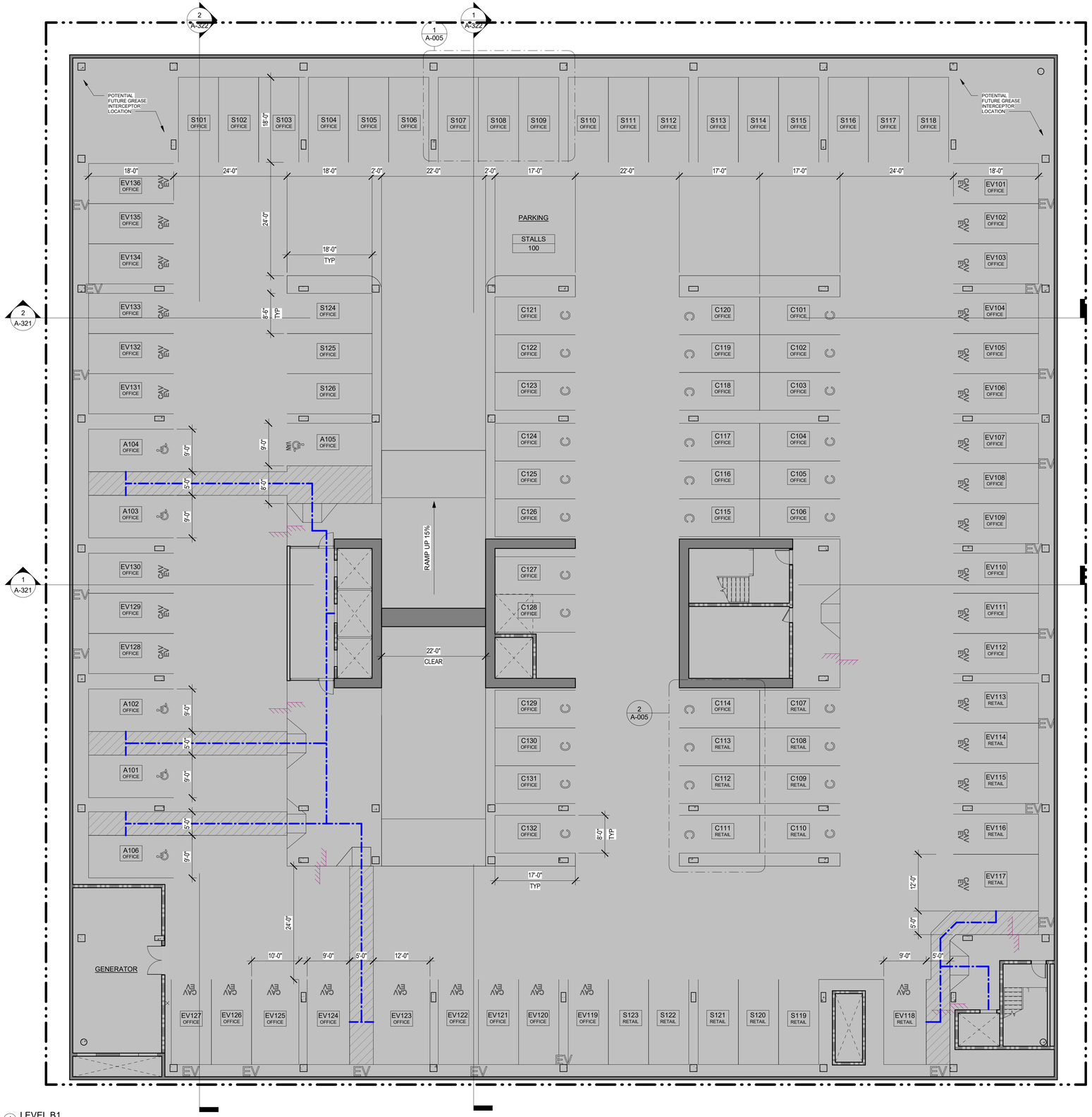
PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL 5 FLOOR PLAN

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-205



1 LEVEL B1
3/32" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	02/04/22	Planning Resubmittal
E	04/22/22	Planning Resubmittal

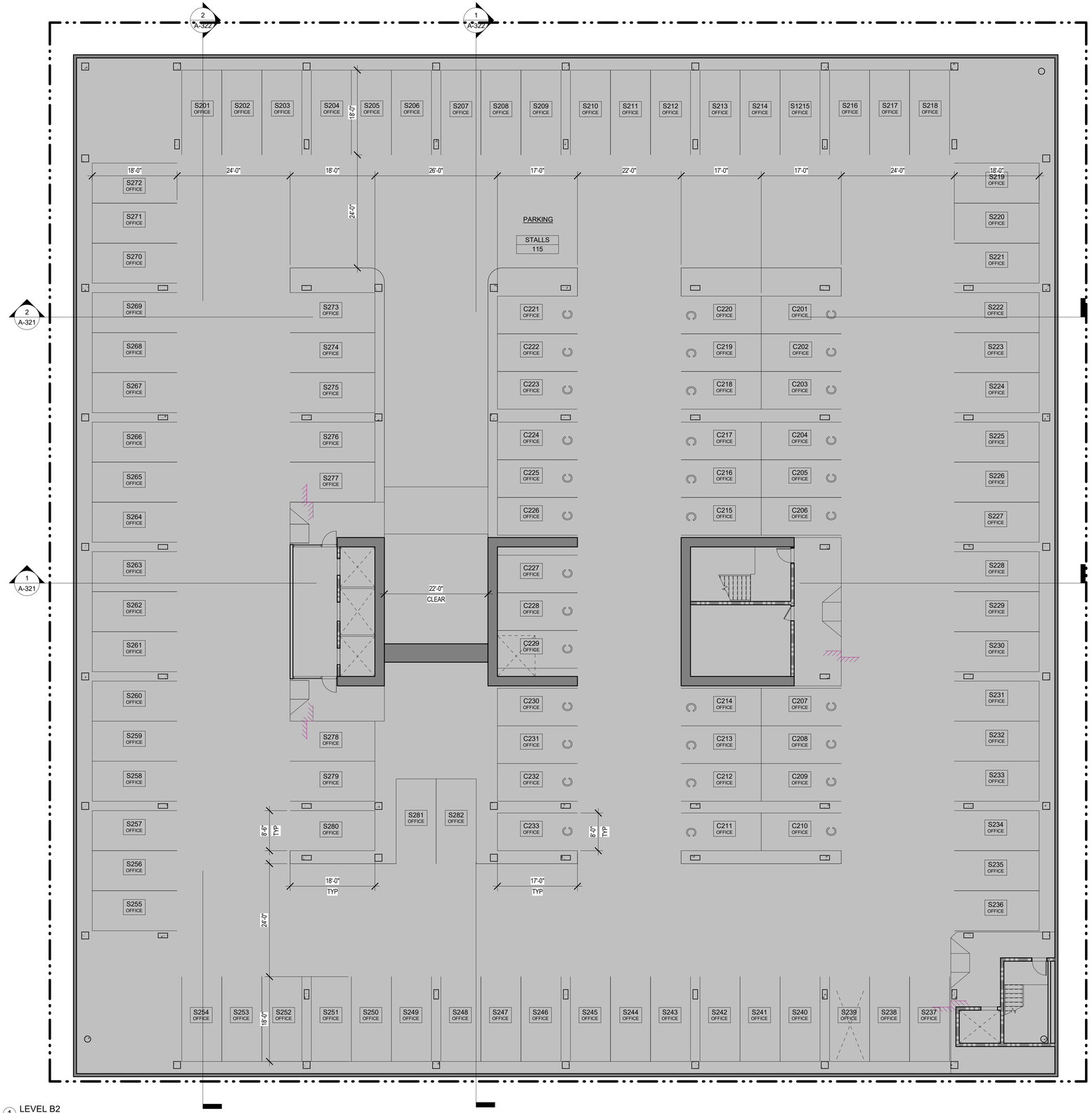
PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL B1 FLOOR PLAN

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-206



1 LEVEL B2
3/32" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	02/04/22	Planning Resubmittal
E	04/22/22	Planning Resubmittal

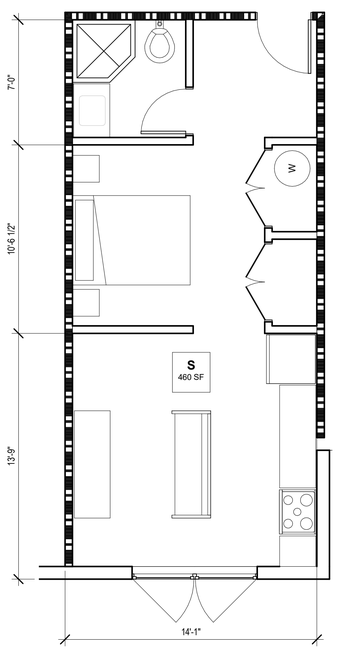
PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL B2 FLOOR PLAN

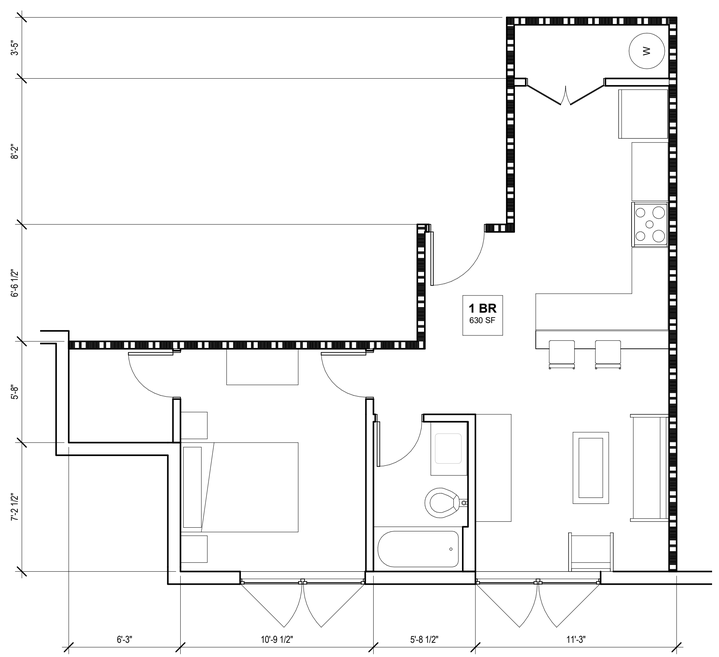
SCALE
3/32" = 1'-0"

SHEET NUMBER

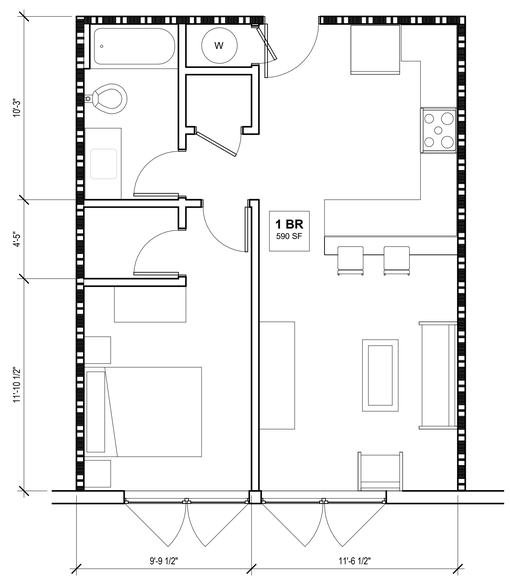
A-207



3 STUDIO
1/4" = 1'-0"



2 1-BED TYPE B
1/4" = 1'-0"



1 1-BED TYPE A
1/4" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	10/21/20	Pre-App Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
RESIDENTIAL UNIT PLANS

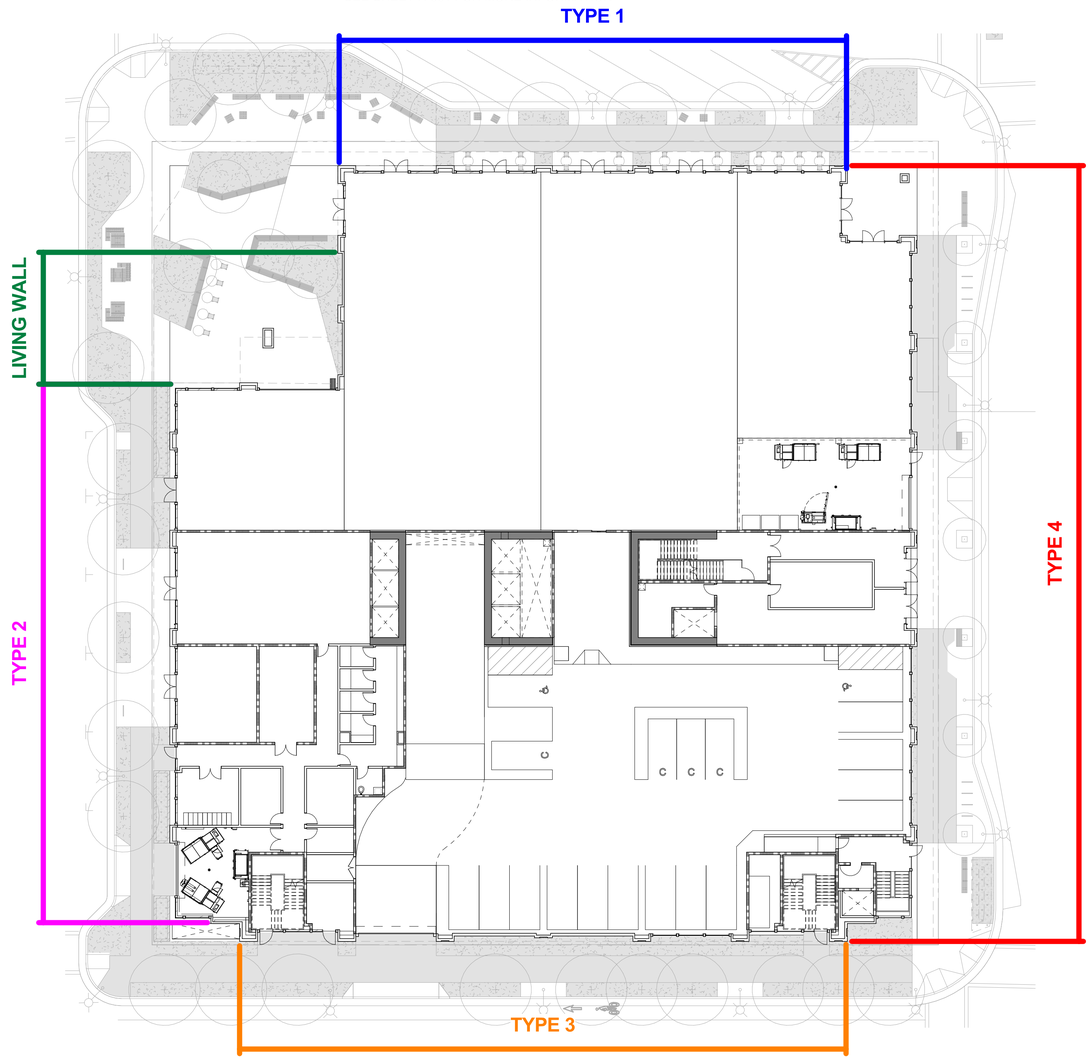
SCALE
1/4" = 1'-0"

SHEET NUMBER

A-210

VIEW 1: FACADE TYPE 1
SEE SHEET A-301 FOR MORE INFORMATION

VIEW 2: FACADE TYPE 2
SEE SHEET A-302 FOR ADDITIONAL INFORMATION



VIEW 4: FACADE TYPE 4
SEE SHEET A-304 FOR MORE INFORMATION

VIEW 3: FACADE TYPE 3
SEE SHEET A-303 FOR MORE INFORMATION

SEE SHEETS A-401 - A-404 FOR MORE INFORMATION ON FACADE TYPES

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal

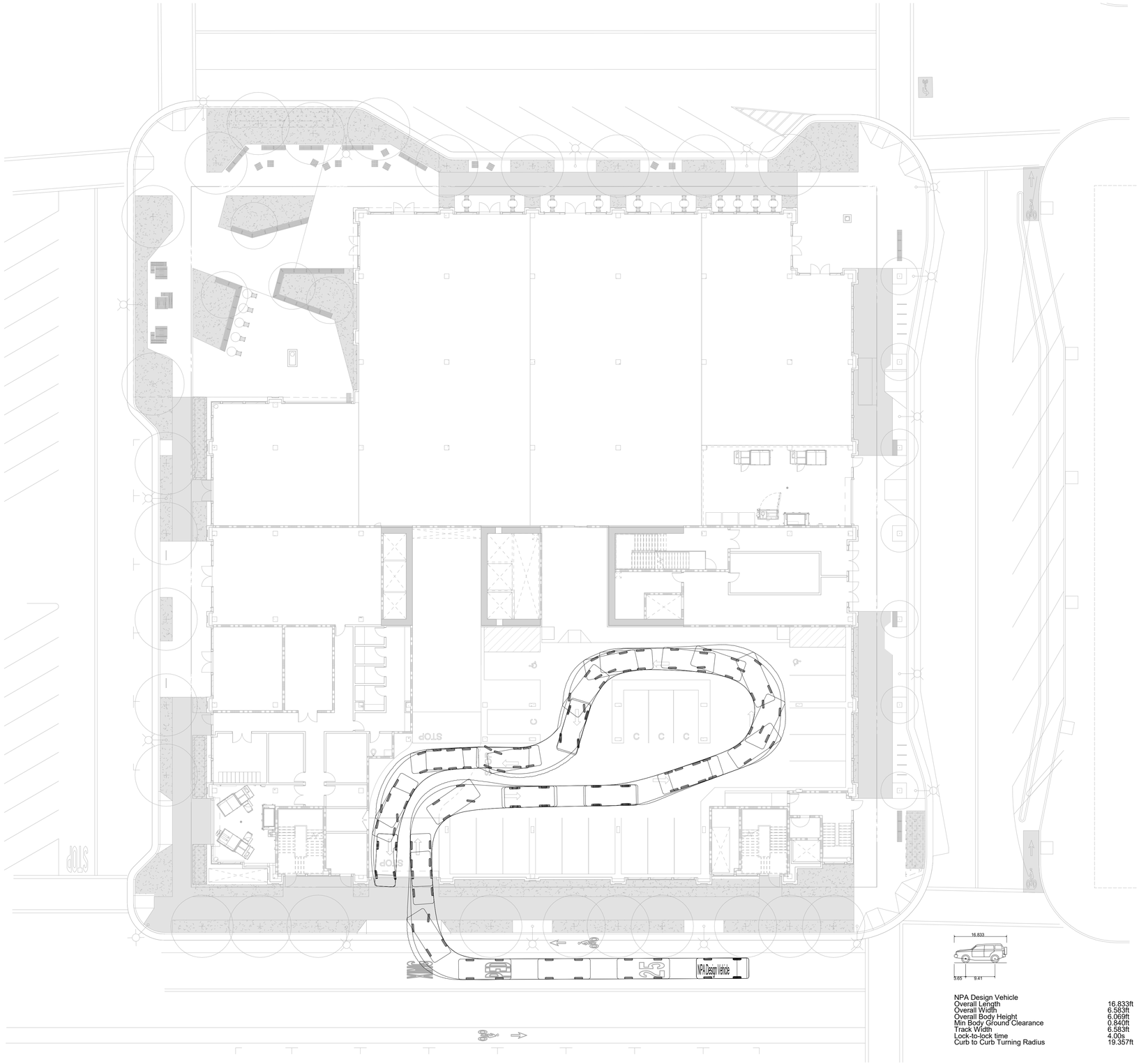
PROJECT NUMBER
16010.00

SHEET TITLE
DESIGN CONTEXT PLAN

SCALE
1" = 20'-0"

SHEET NUMBER

A-220



NPA Design Vehicle	
Overall Length	16.833ft
Overall Width	6.583ft
Overall Body Height	6.069ft
Min Body Ground Clearance	0.840ft
Track Width	6.583ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	19.357ft

1 LEVEL 1 - VEHICLE TURNING ANALYSIS
1/16" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	04/22/22	Planning Resubmittal

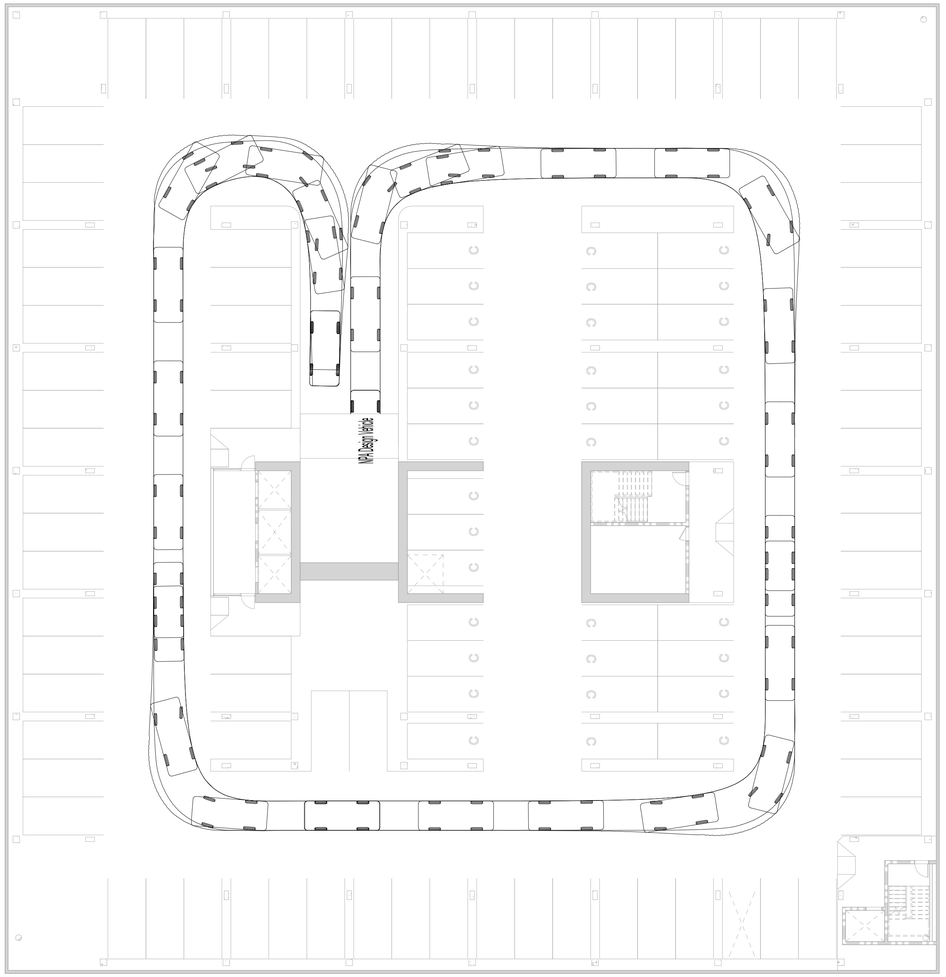
PROJECT NUMBER
16010.00

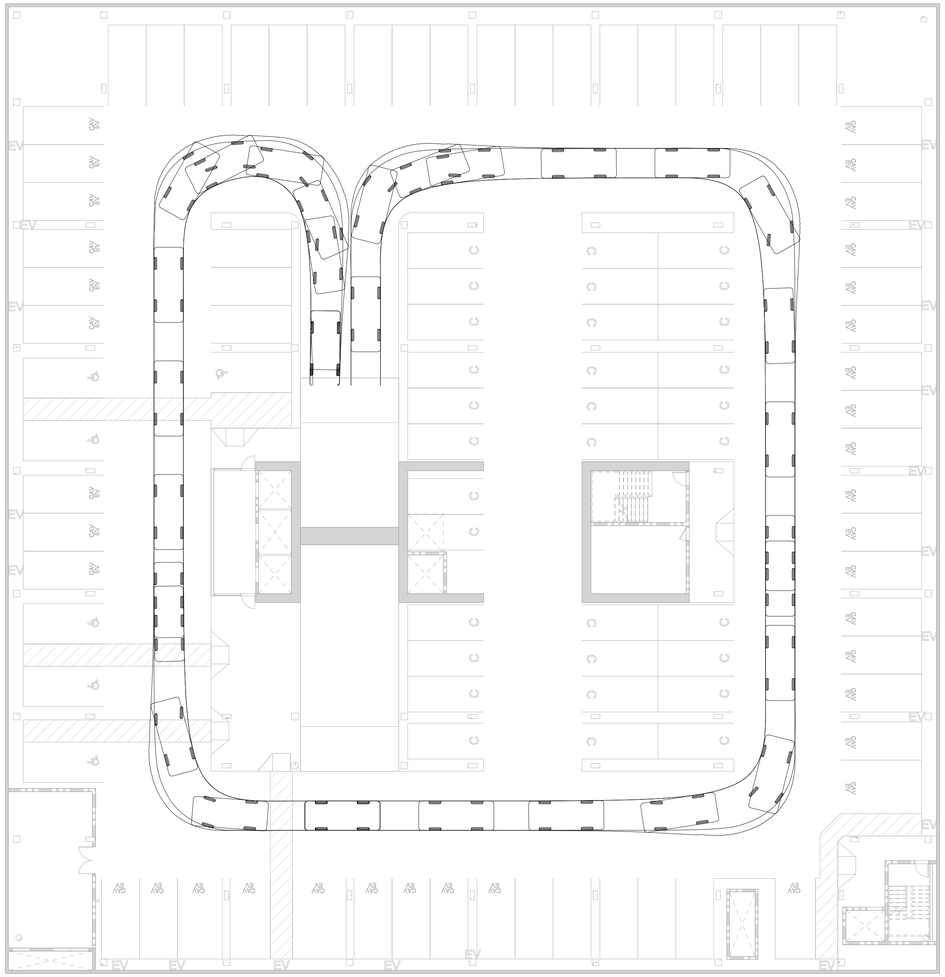
SHEET TITLE
LEVEL 1 VEHICLE TURNING ANALYSIS

SCALE
1/16" = 1'-0"

SHEET NUMBER

A-231





NPA Design Vehicle	
Overall Length	16.833ft
Overall Width	6.583ft
Overall Body Height	6.069ft
Min Body Ground Clearance	0.840ft
Track Width	6.583ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	19.357ft

NPA Design Vehicle	
Overall Length	16.833ft
Overall Width	6.583ft
Overall Body Height	6.069ft
Min Body Ground Clearance	0.840ft
Track Width	6.583ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	19.357ft

2 LEVEL B2 - VEHICLE TURNING ANALYSIS
1/16" = 1'-0"

1 LEVEL B1 - VEHICLE TURNING ANALYSIS
1/16" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	04/22/22	Planning Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL B1 & B2 VEHICLE TURNING ANALYSIS

SCALE
1/16" = 1'-0"

SHEET NUMBER

A-232

FACADE TYPE 1

1A. WOOD STOREFRONT WINDOW SYSTEM WITH METAL AND WOOD CANOPY

1B. WOOD STOREFRONT WINDOW SYSTEM WITH DIVIDED TRANSOM LITES AND FABRIC AWNING

1C. RECESSED METAL STOREFRONT WINDOW SYSTEM WITH PROFILED METAL HEADERS AND JAMBS AND GLASS CANOPY

1 VIEW FROM FOURTH AVENUE
3/32" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
RENDERING

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-301

FACADE TYPE 2

2A. WOOD STOREFRONT WINDOW SYSTEM WITH METAL AND WOOD CANOPY

2B. WOOD STOREFRONT WINDOW SYSTEM

2C. RECESSED METAL STOREFRONT WINDOW SYSTEM WITH PROFILED METAL HEADERS AND JAMBS AND GLASS CANOPY

2D. WOOD "NANAWALL" SYSTEM WITH WOOD SOFFIT AND CLADDING

2E. VINE-COVERED WALL

1 VIEW FROM ELLSWORTH AVENUE
3/32" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
RENDERING

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-302

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

FACADE TYPE 3

3A. WOOD STOREFRONT WINDOW SYSTEM WITH DIVIDED TRANSOM LITES AND FABRIC AWNING

3B. WOOD STOREFRONT WINDOW SYSTEM

3C. RECESSED VINE-COVERED WALL

1 VIEW FROM FIFTH AVENUE
3/32" = 1'-0"

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
RENDERING

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-303

FACADE TYPE 4

4A. RECESSED METAL STOREFRONT WINDOW SYSTEM WITH PROFILED METAL HEADERS AND JAMBS AND GLASS CANOPY

4B. WOOD WINDOW SYSTEM WITH METAL AND WOOD CANOPY

4C. WOOD STOREFRONT WINDOW SYSTEM WITH DIVIDED TRANSOM LITES AND FABRIC AWNING

1 VIEW FROM B STREET
3/32" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	04/22/22	Planning Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
RENDERING

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-304

1 VIEW OF FOURTH AVENUE RETAIL
3/32" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	03/19/21	Pre-App Resubmittal
B	10/15/21	Planning Application Set

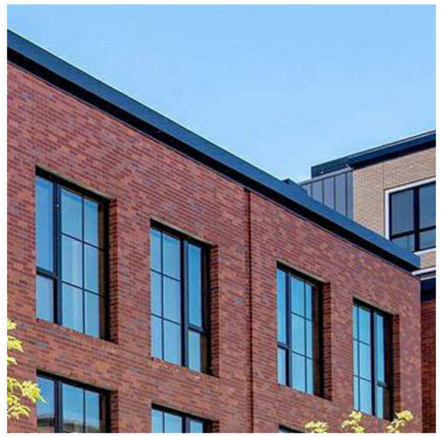
PROJECT NUMBER
16010.00

SHEET TITLE
RENDERING

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-305

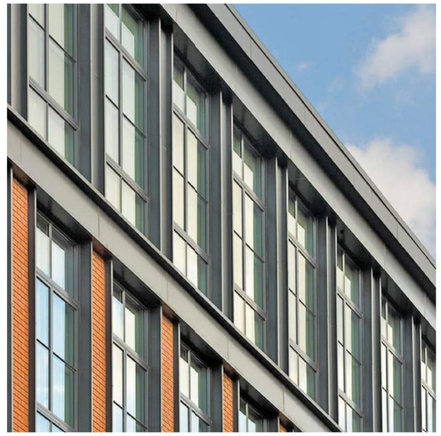


GL-4: RESIDENTIAL WINDOWS

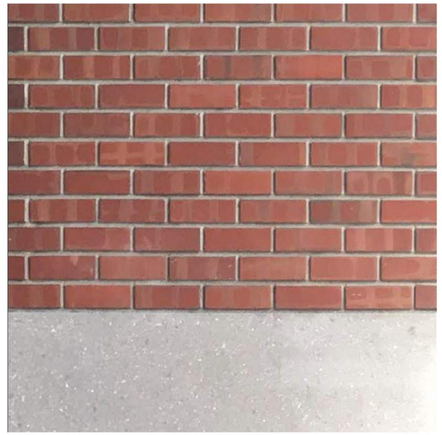
GL-2: SPANDREL GLASS

GL-1: CLEAR GLASS

WD-1: WOOD

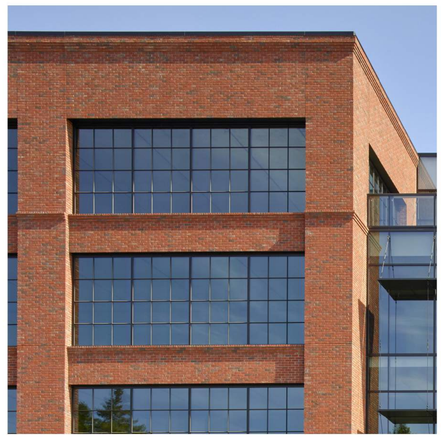


MTL-1: PAINTED ALUMINUM TRIM



CON-1: CONCRETE BASE

MTL-2: PAINTED ALUMINUM PANELS



BR-1: RED BRICK

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal

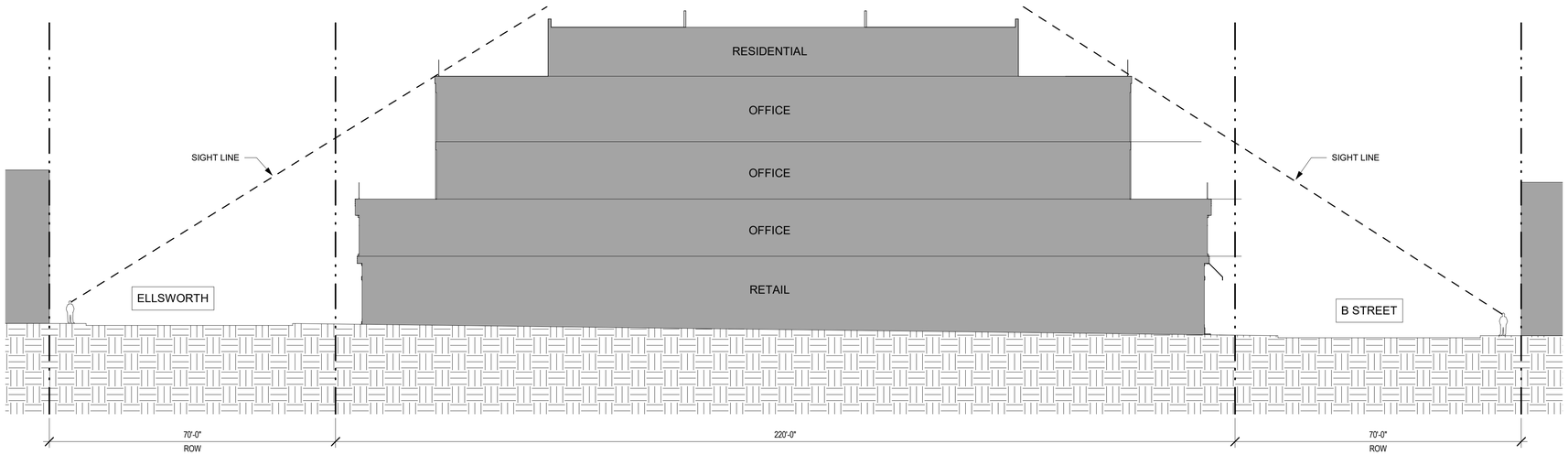
PROJECT NUMBER
16010.00

SHEET TITLE
MATERIALS

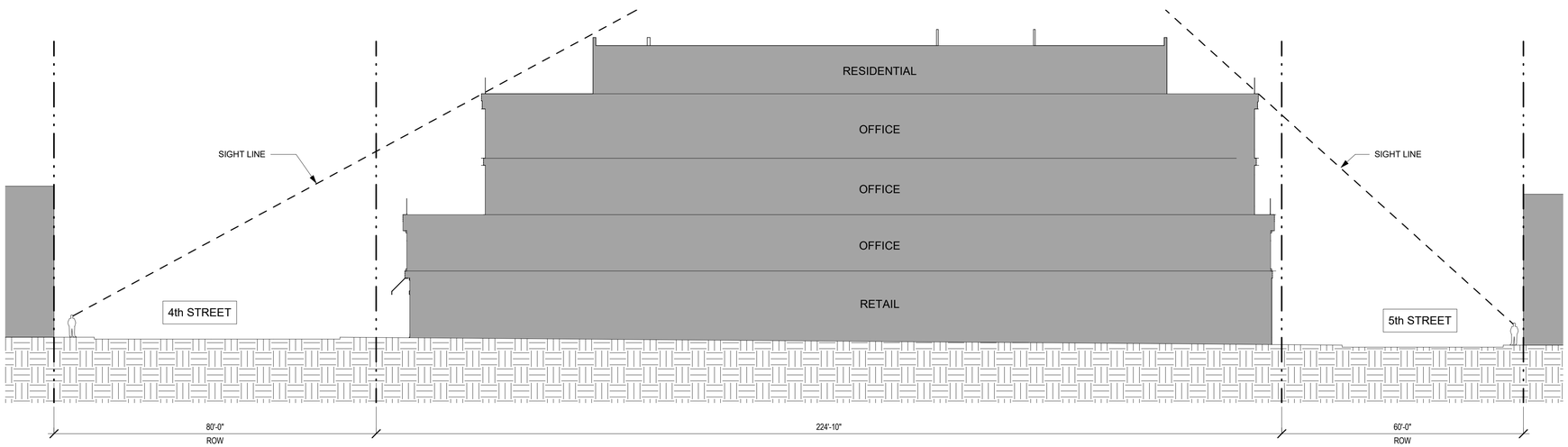
SCALE
3/16" = 1'-0"

SHEET NUMBER

A-306



2 Site Section 2
1/16" = 1'-0"



1 Site Section 1
1/16" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	10/21/20	Pre-App Resubmittal
B	03/19/21	Pre-App Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LINE OF SIGHT DIAGRAMS

SCALE
1/16" = 1'-0"

SHEET NUMBER

A-307

* (E) ELEVATION TO REMAIN

2 South - 5th Street
3/32" = 1'-0"

* (E) ELEVATION TO REMAIN

1 North - 4th Street
3/32" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal
F	04/22/22	Planning Resubmittal
G	06/15/22	Planning Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
BUILDING ELEVATIONS

SCALE
3/32" = 1'-0"

SHEET NUMBER

A-311

* (E) ELEVATION TO REMAIN

2 West - Ellsworth
3/32" = 1'-0"

* (E) ELEVATION TO REMAIN

1 East - B Street
3/32" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	10/15/21	Planning Application Set
E	02/04/22	Planning Resubmittal
F	04/22/22	Planning Resubmittal

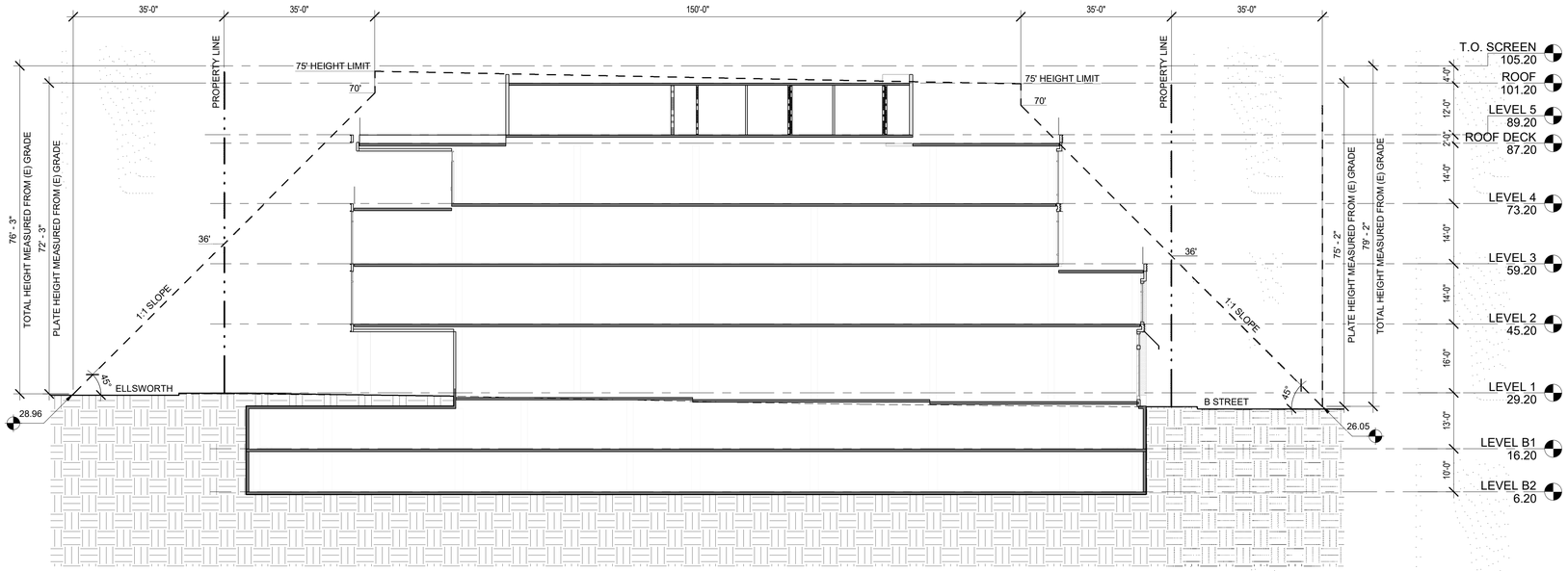
PROJECT NUMBER
16010.00

SHEET TITLE
BUILDING ELEVATIONS

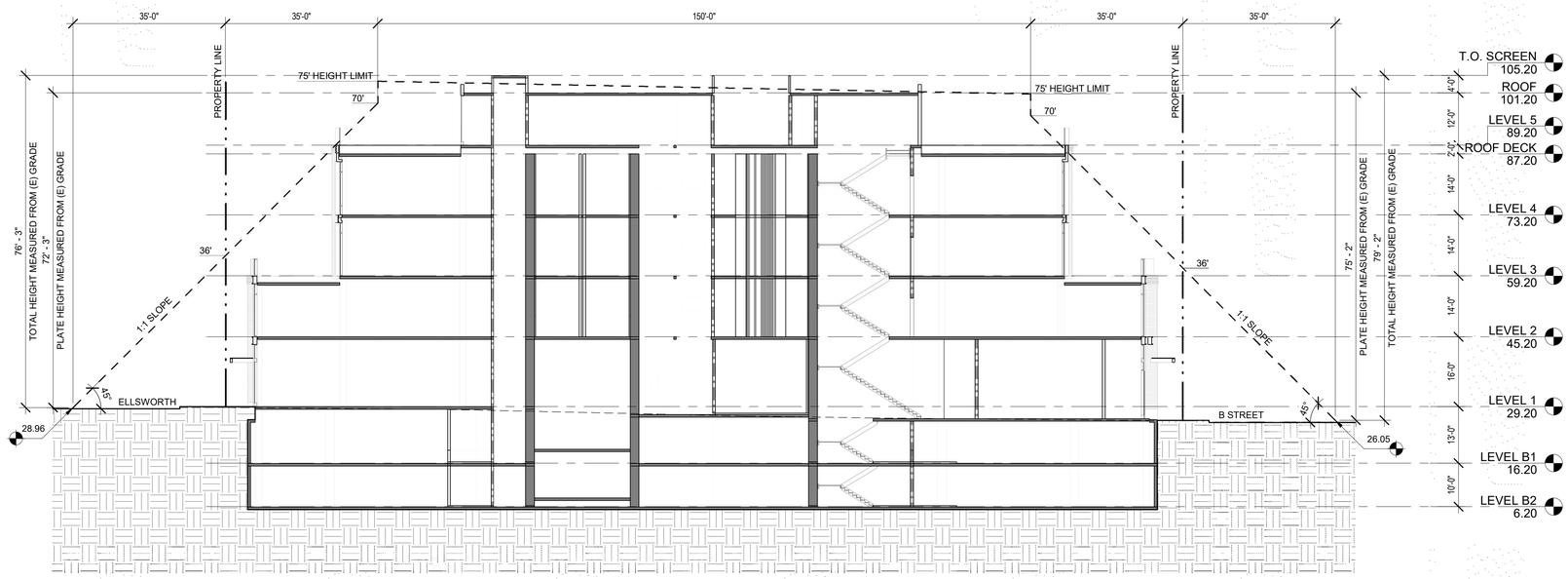
SCALE
3/32" = 1'-0"

SHEET NUMBER

A-312



2 Section 2
1/16" = 1'-0"



1 Section 1
1/16" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	02/04/22	Planning Resubmittal

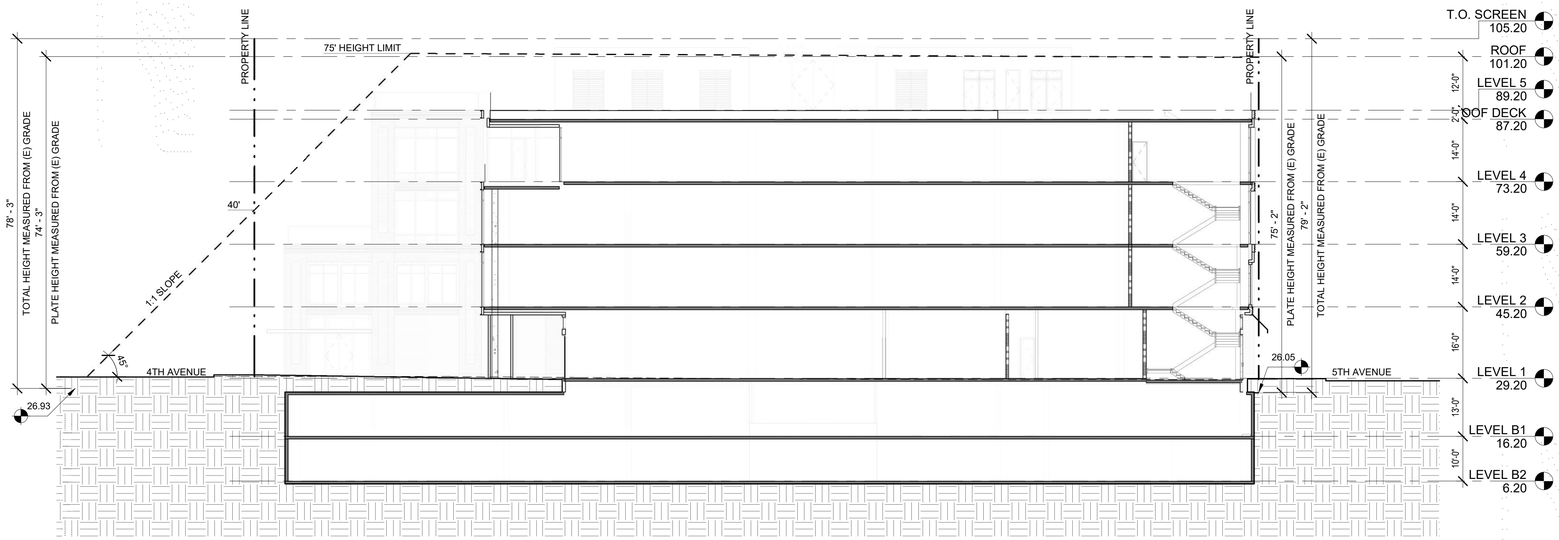
PROJECT NUMBER
16010.00

SHEET TITLE
BUILDING SECTIONS

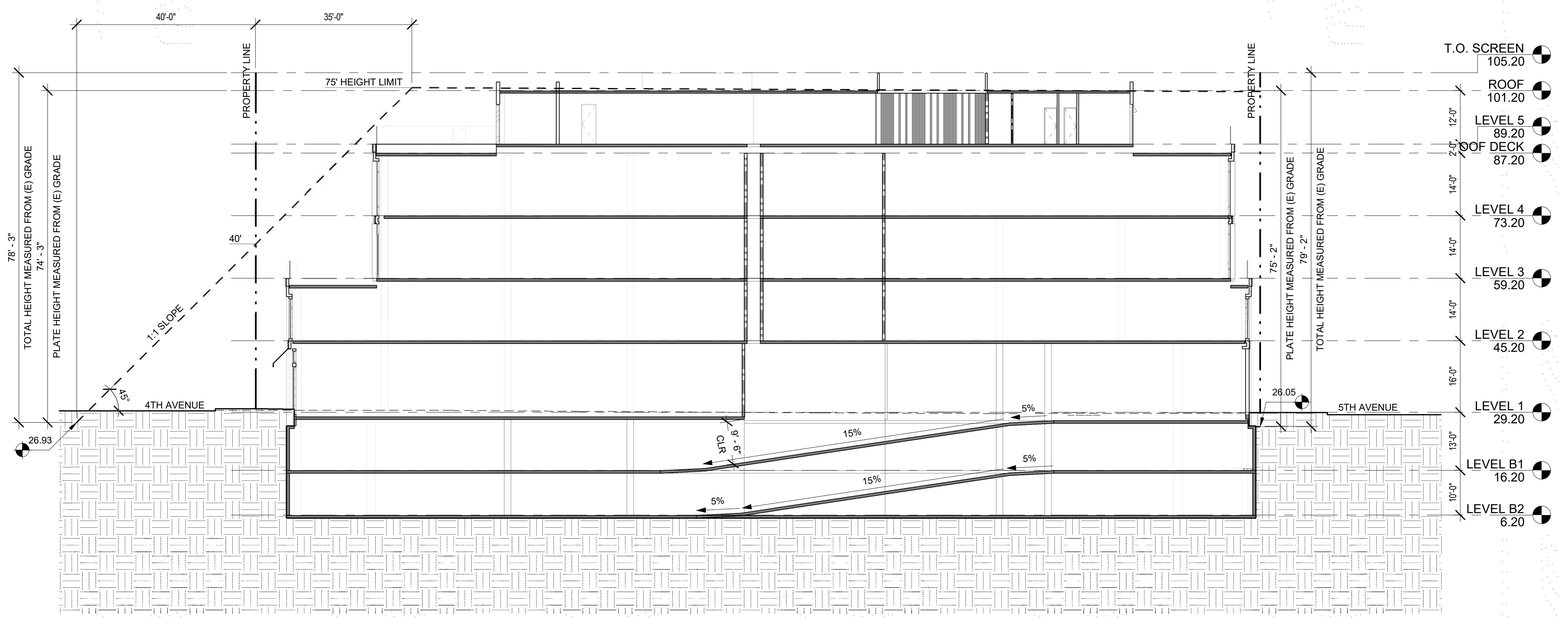
SCALE
1/16" = 1'-0"

SHEET NUMBER

A-321



2 Section 4
1/16" = 1'-0"



1 Section 3
1/16" = 1'-0"

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal
D	02/04/22	Planning Resubmittal

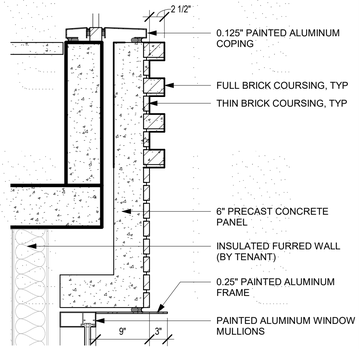
PROJECT NUMBER
16010.00

SHEET TITLE
BUILDING SECTIONS

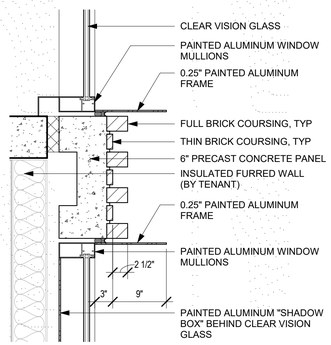
SCALE
1/16" = 1'-0"

SHEET NUMBER

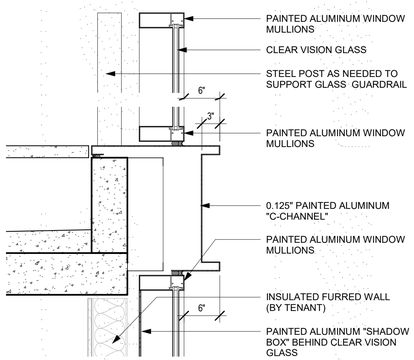
A-322



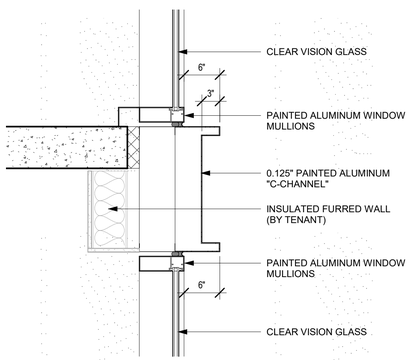
6 TYPICAL BRICK CORNICE DETAIL
1" = 1'-0"



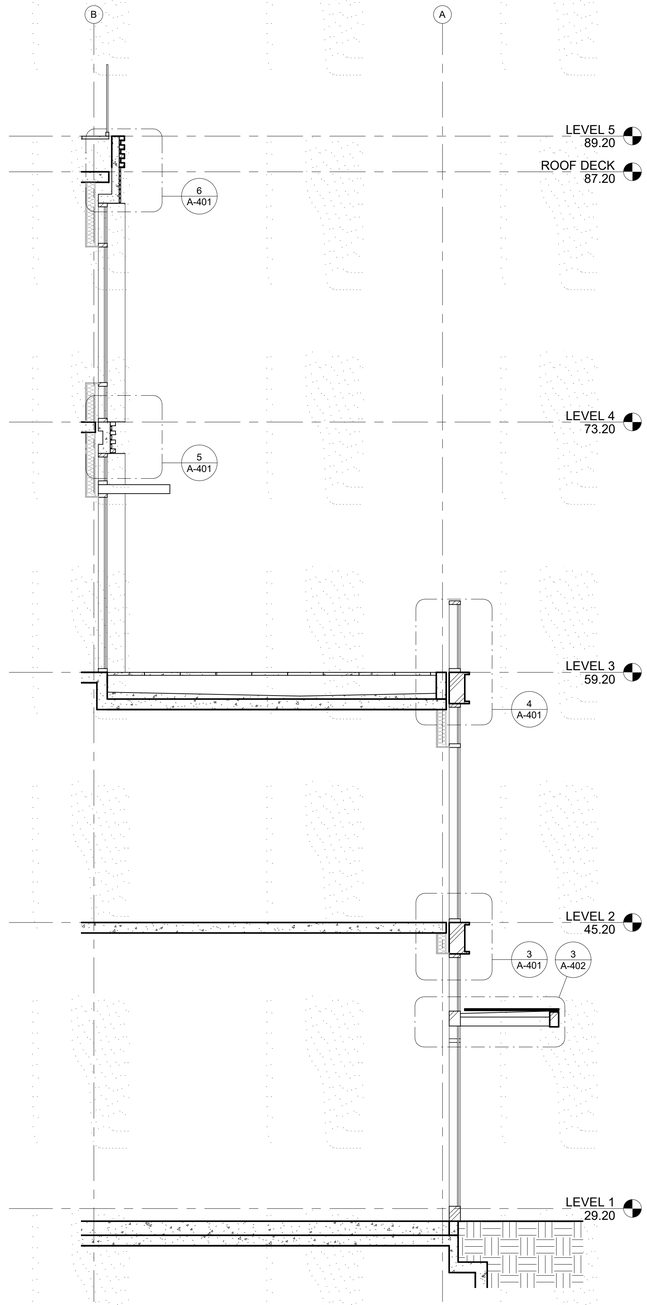
5 TYPICAL LEVEL 3 SPANDREL DETAIL
1" = 1'-0"



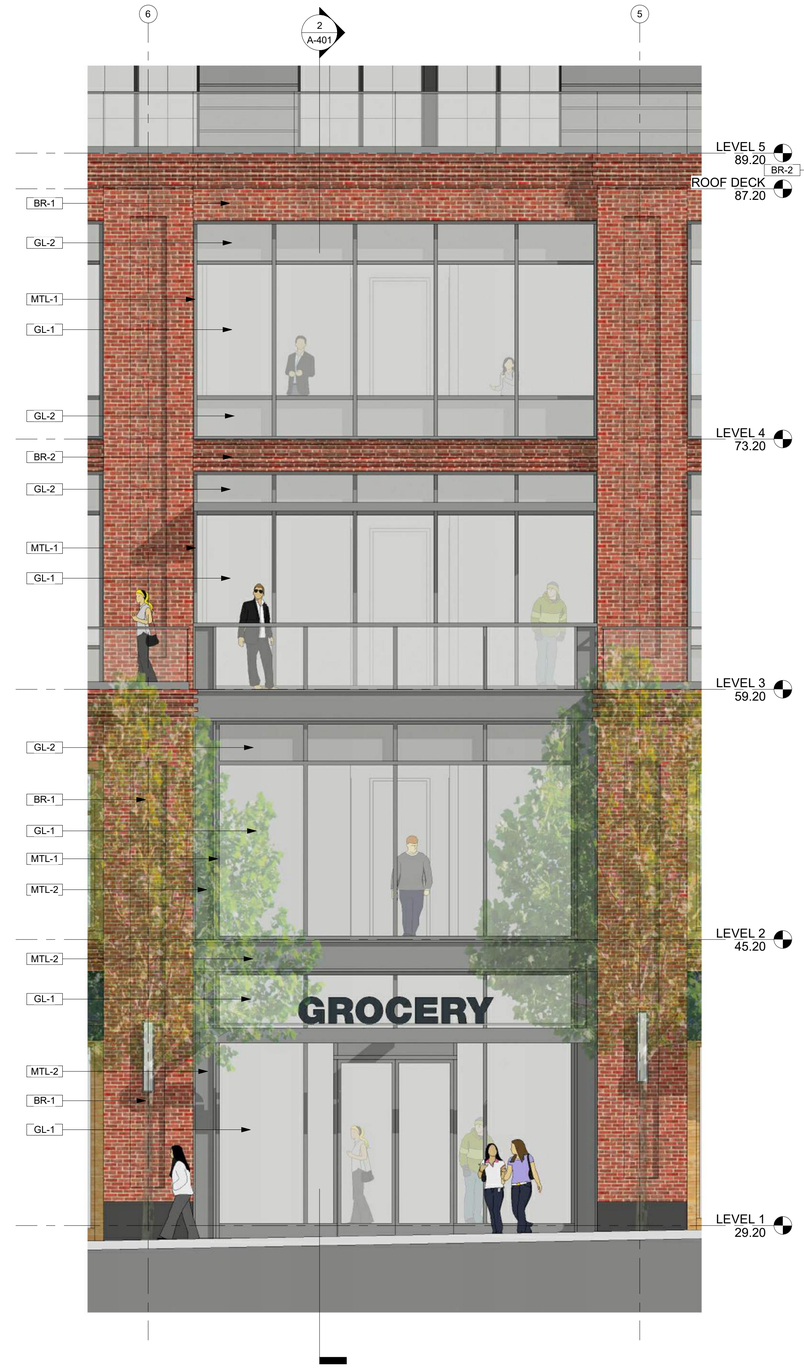
4 ALUMINUM C-CHANNEL AND GUARDRAIL DETAIL
1" = 1'-0"



3 ALUMINUM C-CHANNEL SPANDREL DETAIL
1" = 1'-0"



2 ENLARGED SECTION - SKIN TYPE A
1/4" = 1'-0"



1 ENLARGED ELEVATION - SKIN TYPE A
1/4" = 1'-0"

Key Value	Keynote Text
BR-1	BRICK CLADDING
BR-2	RIBBED BRICK CLADDING
GL-1	VISION GLASS
GL-2	VISION GLASS WITH SHADOW BOX
MTL-1	PAINTED METAL TRIM/CLADDING
MTL-2	PAINTED METAL CLADDING

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	03/19/21	Pre-App Resubmittal
B	04/22/22	Planning Resubmittal

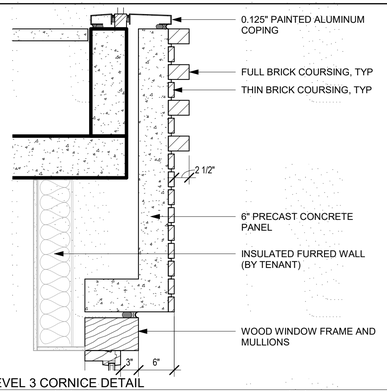
PROJECT NUMBER
16010.00

SHEET TITLE
ENLARGED ELEVATIONS AND SECTIONS

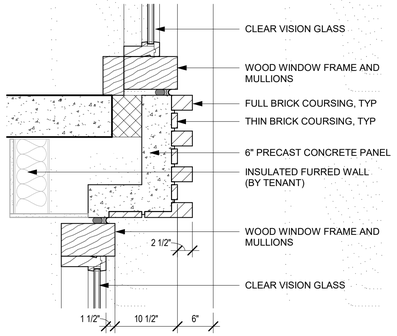
SCALE
As indicated

SHEET NUMBER

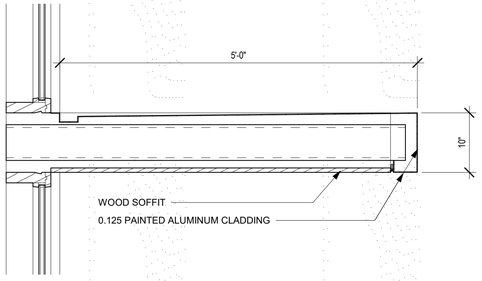
A-401



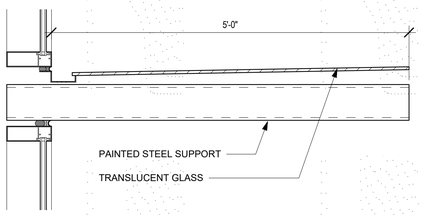
6 TYPICAL LEVEL 3 CORNICE DETAIL
1" = 1'-0"



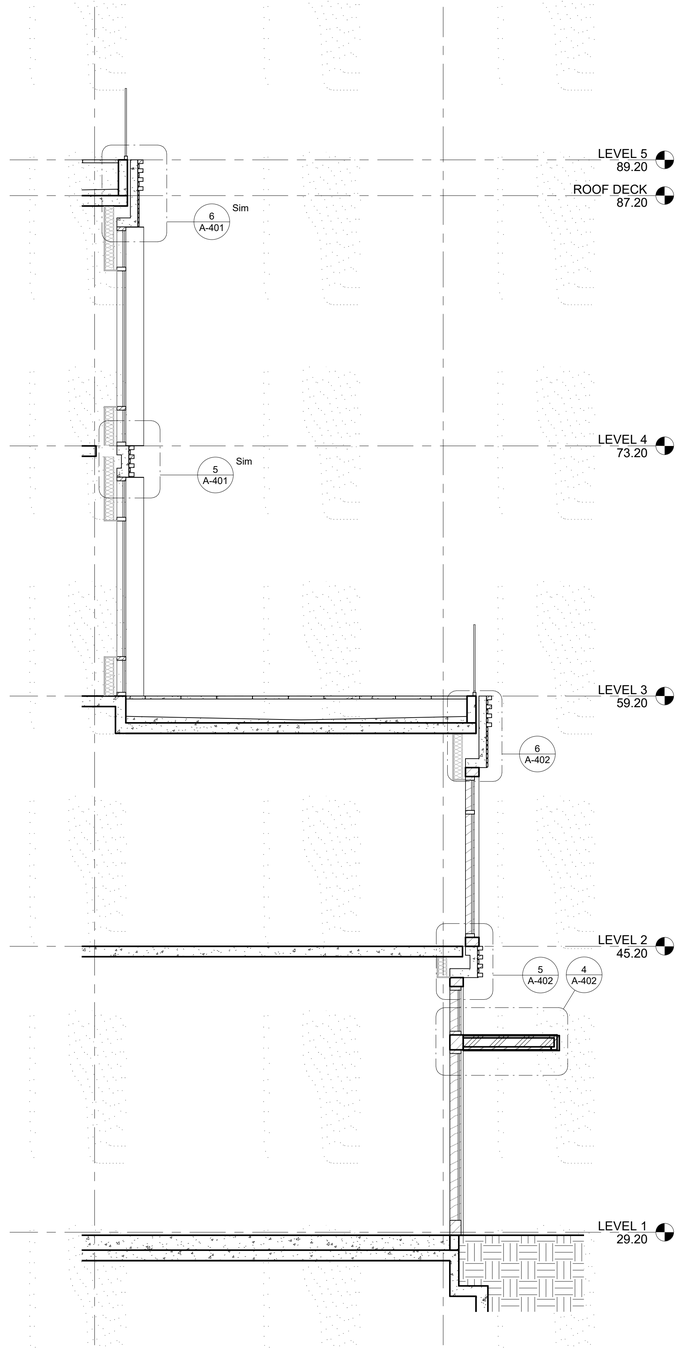
5 TYPICAL LEVEL 2 SPANDREL DETAIL
1" = 1'-0"



4 TYPICAL PAINTED ALUMINUM AND WOOD CANOPY DETAIL
1" = 1'-0"



3 TYPICAL GLASS CANOPY DETAIL
1" = 1'-0"



2 ENLARGED SECTION - SKIN TYPE B
1/4" = 1'-0"

Key Value	Keynote Text
BR-1	BRICK CLADDING
BR-2	RIBBED BRICK CLADDING
GL-1	VISION GLASS
GL-2	VISION GLASS WITH SHADOW BOX
MTL-1	PAINTED METAL TRIM/CLADDING
WD-1	WOOD TRIM/CLADDING

1 ENLARGED SECTION - SKIN TYPE B
1/4" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	03/19/21	Pre-App Resubmittal
B	04/22/22	Planning Resubmittal

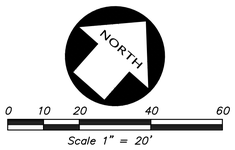
PROJECT NUMBER
16010.00

SHEET TITLE
ENLARGED ELEVATIONS AND SECTIONS

SCALE
As indicated

SHEET NUMBER

A-402



NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLOT ONLY (NO EASEMENTS SHOWN)

2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

4. A REQUEST WAS MADE TO PACIFIC GAS & ELECTRIC COMPANY FOR INFORMATION REGARDING THE LOCATION OF THEIR FACILITIES NEAR THIS SITE. AS OF DECEMBER 13, 2019, THEY HAD NOT RESPONDED WITH THIS INFORMATION. UNTIL WE RECEIVE THIS INFORMATION AND ARE ABLE TO DELINEATE THESE FACILITIES, ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARDS TO THE LOCATION OF THE UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.

5. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SAN MATEO COUNTY, CALIFORNIA, MAP NUMBER 06081C0154G FOR COMMUNITY NUMBER 060328 (CITY OF SAN MATEO), WITH AN EFFECTIVE DATE OF APRIL 5, 2019, AS BEING LOCATED IN FLOOD ZONE "X NO SCREEN". ACCORDING TO FEMA THE DEFINITION OF ZONE "X NO SCREEN" IS: AREAS OF MINIMAL FLOOD HAZARD

   INFORMATION WAS OBTAINED FROM THE CITY OF SAN MATEO, PUBLIC WORKS DEPARTMENT ON DECEMBER 17, 2019.

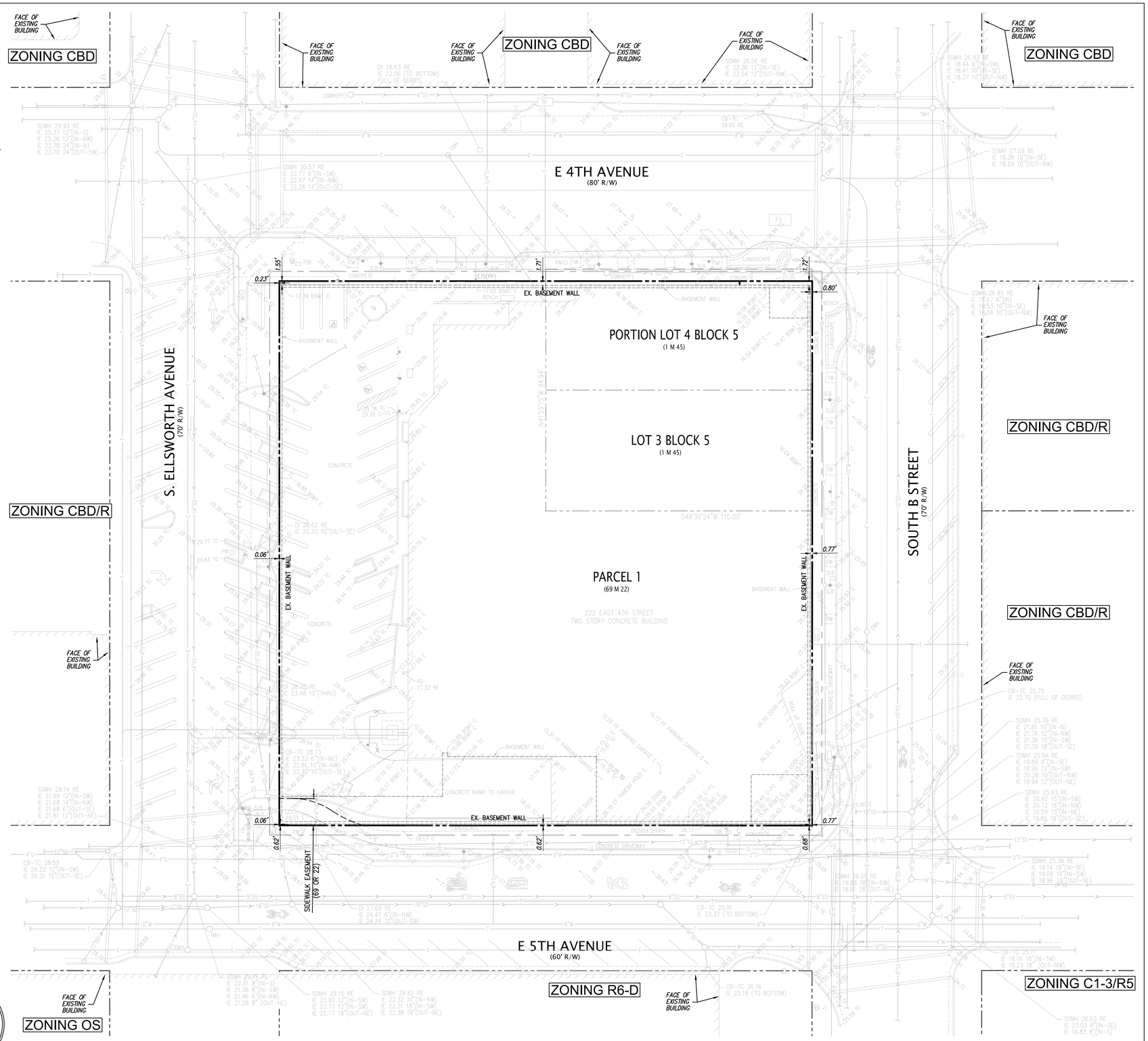
6. BENCHMARK:
   CITY OF SAN MATEO BENCHMARK 082-001; RAMSET NAIL AND WASHER, TOP OF CURB WESTERLY END AND WESTERLY RETURN AT B STREET AND 4TH AVENUE.
   ELEVATION: 26.693 DATUM: SAN MATEO DATUM +100

7. BASIS OF BEARINGS:
   THE BEARING OF SOUTH 48° 30' 00" WEST TAKEN ON THE MONUMENT LINE OF EAST FOURTH AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JUNE 10, 1996, IN BOOK 69 OF PARCEL MAPS AT PAGES 22, NO. 350 OF SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

8. CORNER RECORD NOTE:
   THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

LEGEND

- BUILDING LINE
- MONUMENT LINE
- CONCRETE/BLOCK/RETAINING WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- DRIVEWAY
- EASEMENT LINE
- ELECTRIC LINE
- FENCE LINE
- GAS LINE-VALVE & METER
- LOT LINE
- MONUMENT/MONUMENT LINE
- PROPERTY LINE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- TELEPHONE LINE
- WATER LINE & VALVE
- ACCESSIBLE PARKING SYMBOL
- ANODE
- BACKFLOW PREVENTION DEVICE
- ELECTROLIER
- FIRE HYDRANT
- GAS METER
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- TREE
- UTILITY BOX
- WATER VALVE



PREPARED BY OR UNDER THE SUPERVISION OF
RODNEY A. STEWART II P.L.S. 9225

LICENSED LAND SURVEYOR
RODNEY A. STEWART II
No. 9225
STATE OF CALIFORNIA

Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-TS.dwg 6-17-22 08:07:17 AM tknudsen

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

SHEET TITLE
EXISTING CONDITIONS PLAN

SCALE
AS SHOWN

SHEET NUMBER

C1.00

NORTH

0 10 20 40 60

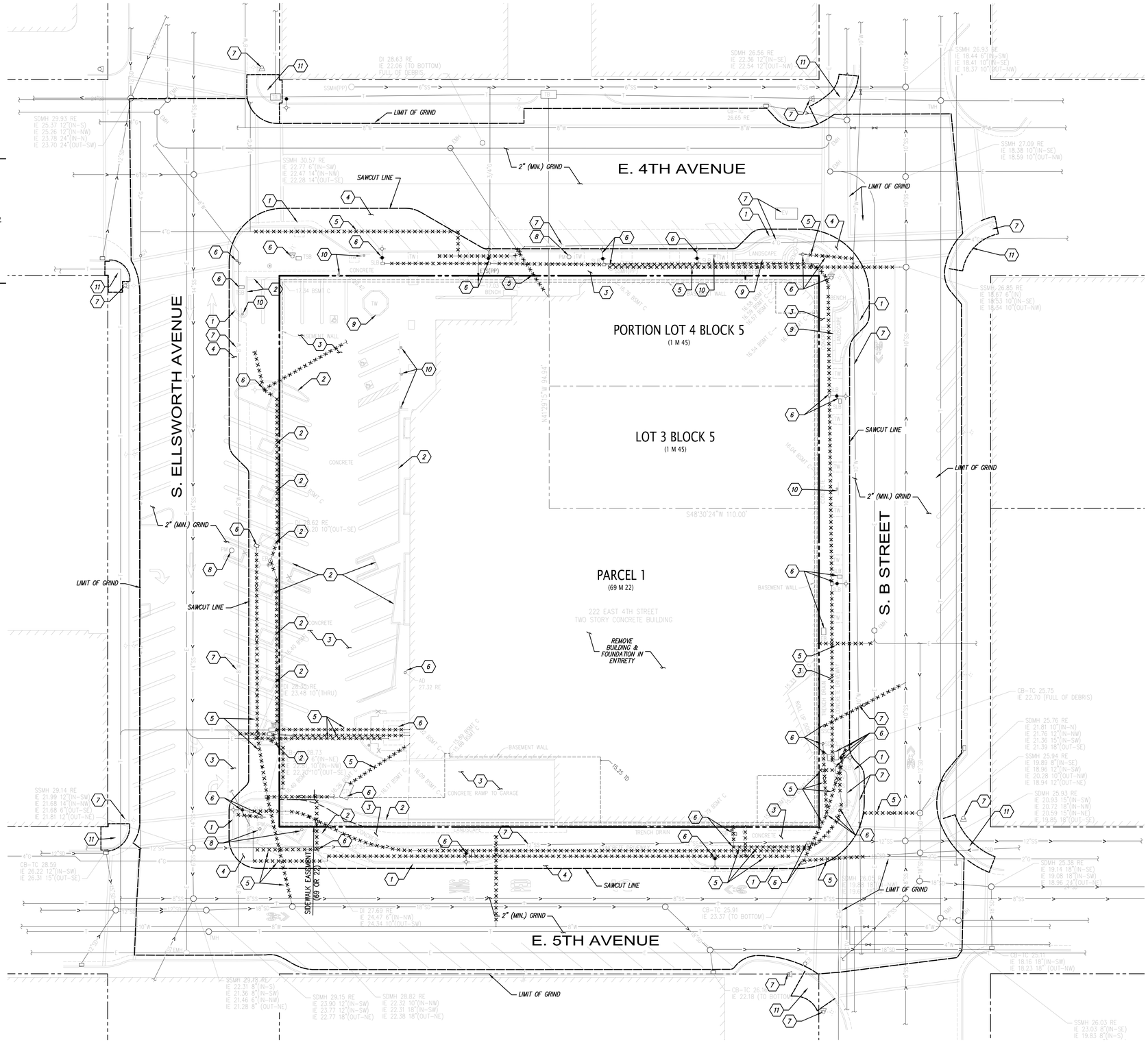
Scale 1" = 20'

NOTES

1. REMOVE ALL TREES AND SHRUBS WITHIN PROJECT LIMIT OF WORK.
2. REMOVE EXISTING BUILDING, BELOW GRADE PARKING STRUCTURE AND FOUNDATION IN ENTIRETY.
3. REMOVE ALL CONCRETE, AC PAVEMENT AND BASE ROCK SUBGRADE WITHIN PROJECT LIMIT OF WORK.
4. REMOVE ALL LANDSCAPING AND IRRIGATION WITHIN LIMIT OF WORK.
5. ALL UNUSED WATER LATERALS SHALL BE REMOVED AND CAPPED AT THE MAIN.
6. CONTRACTOR SHALL COORDINATE REMOVAL OF BIKE RACKS ALONG THE PROJECT FRONTAGE WITH PUBLIC WORKS.

LEGEND

- UNDERGROUND UTILITIES TO BE REMOVED
- UNDERGROUND UTILITIES TO BE ABANDONED
- PLUG AND CAP END
- (1) REMOVE CONCRETE CURB & GUTTER
- (2) REMOVE CONCRETE CURB
- (3) REMOVE CONCRETE & BASE ROCK
- (4) REMOVE ASPHALT & BASE ROCK
- (5) REMOVE EXISTING UTILITY IN ENTIRETY
- (6) REMOVE EXISTING UTILITY STRUCTURE
- (7) PROTECT EXISTING UTILITY IN PLACE
- (8) REMOVE EXISTING PARKING METER STATION
- (9) REMOVE PLANTER WALL
- (10) REMOVE SIGN
- (11) REMOVE EXISTING CURB, GUTTER, SIDEWALK AND RAMP. PROTECT ALL TRAFFIC POLES, BOXES & PUSH BUTTONS.



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

SHEET TITLE
DEMOLITION PLAN

SCALE
AS SHOWN

SHEET NUMBER

C1.01

Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-TS.dwg 6-17-22 08:07:19 AM tknudsen

NORTH

0 10 20 40 60

Scale 1" = 20'

KEYNOTES

1. ADA RAMP SHALL BE UPGRADED TO MEET CALTRANS STANDARD PLAN A88A.
2. EXISTING STRIPING SYMBOL TO BE REMOVED.
3. PROJECT SHALL REMOVE EXISTING PAY STAION FOR CONSTRUCTION AND REINSTALL POST-CONSTRUCTION UTILIZING CITY'S VENDOR.

STRIPING NOTES

1. SIGNING AND STRIPING SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CA MUTCD), THE LATEST EDITION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS, STADARD PLANS, SIGN SPECIFICATIONS, SPECIAL PROVISIONS, AND THE LATEST EDITION OF THE CITY SAN MATEO SPECIFICATIONS.
2. ANY EXISTING SIGNING AND STRIPING THAT CONFLICTS WITH THE NEW SIGNING AND STRIPING SHALL BE REMOVED.
3. ALL PERMANENT STRIPING/PAVEMENT MARKINGS AS SHOWN ON THIS PLAN SHALL BE THERMOPLASTIC.

EXISTING PARKING SUMMARY

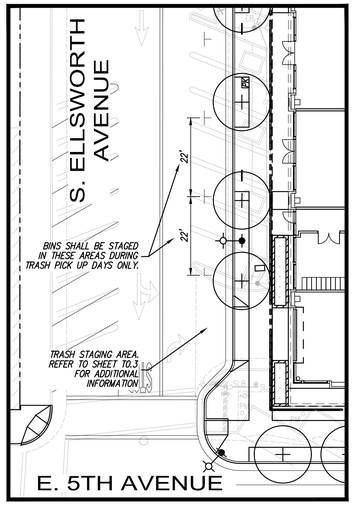
DESCRIPTION	STALLS
E. 4TH AVENUE	21
S. B STREET	13
E. 5TH AVENUE	16
S. ELLSWORTH AVENUE	30
TOTAL	80

NOTE: PARKING COUNT INCLUDES STALLS ON BOTH SIDES OF THE STREET

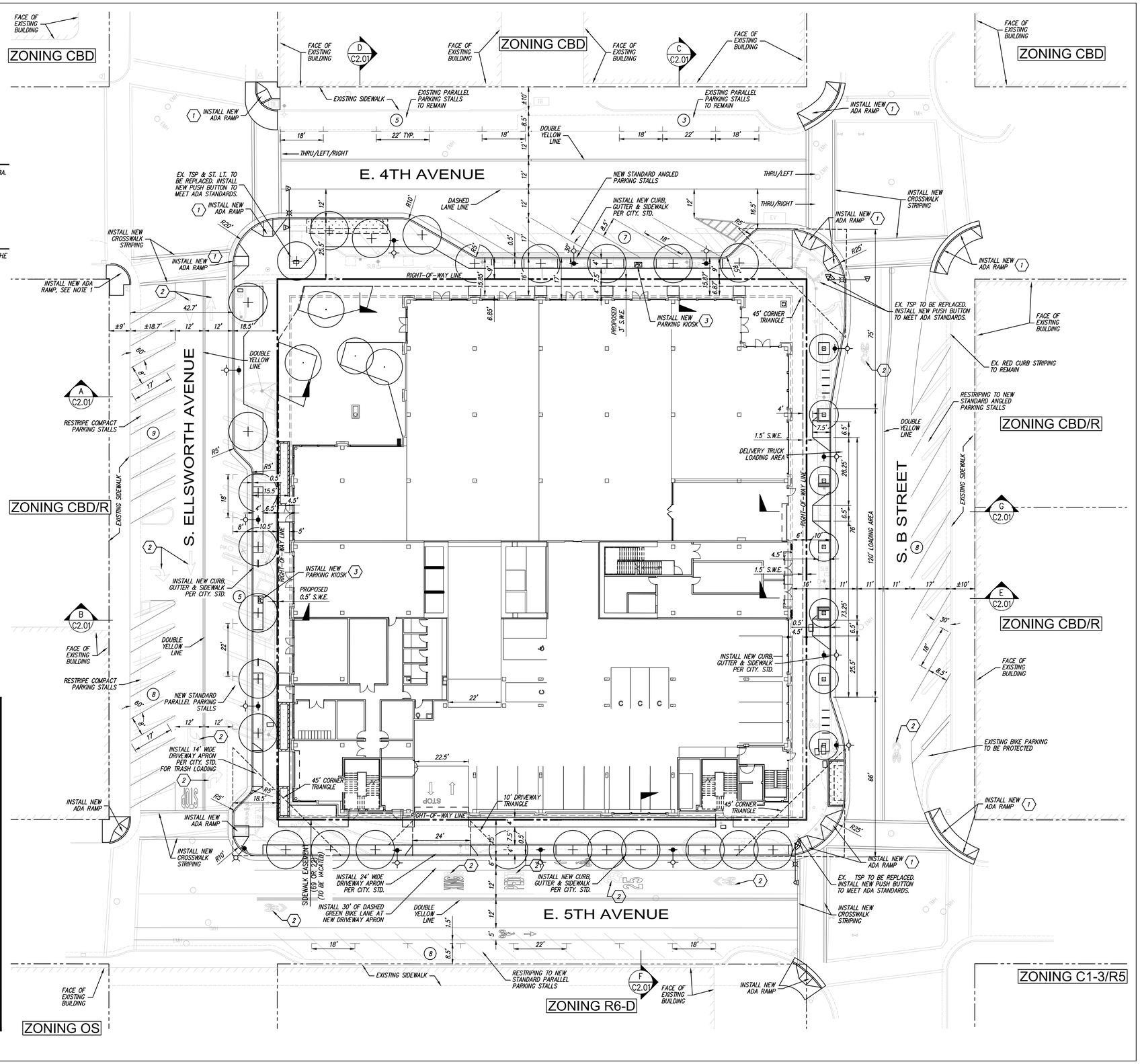
PROPOSED PARKING SUMMARY

DESCRIPTION	STALLS
E. 4TH AVENUE	15
S. B STREET	8
E. 5TH AVENUE	8
S. ELLSWORTH AVENUE	22
TOTAL	53
STALLS LOST DUE TO DEVELOPMENT	21
STALLS LOST DUE TO BIKE LANES	6
TOTAL STALLS REMOVED	27

NOTES:
1. PARKING COUNT INCLUDES STALLS ON BOTH SIDES OF THE STREET.
2. LOST PARKING STALL DUE TO BIKE LANE REQUIREMENTS ARE LOCATED ON THE SOUTHERLY PORTION OF E. 5TH AVENUE.



TRASH STAGING AREA



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

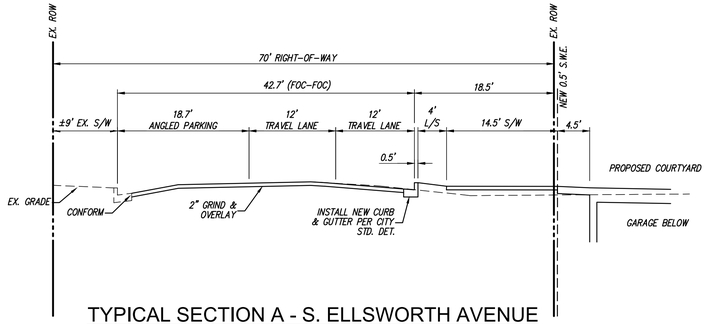
SHEET TITLE
PRELIMINARY STREET LAYOUT PLAN

SCALE
AS SHOWN

SHEET NUMBER

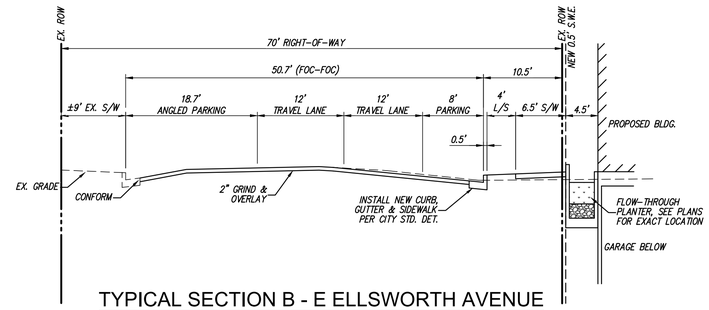
C2.00

Z:\2019\A19538-1\DWG\ENTITLEMENTS\PD PERMIT\A19538-1-PC-SP.dwg 6-17-22 08:47:08 AM mknudsen



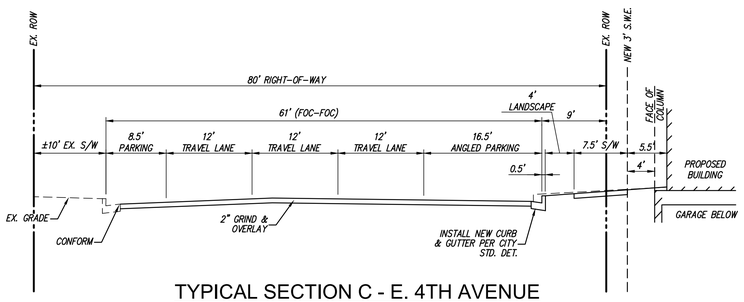
TYPICAL SECTION A - S. ELLSWORTH AVENUE

SCALE H: 1" = 10'
V: 1" = 5'



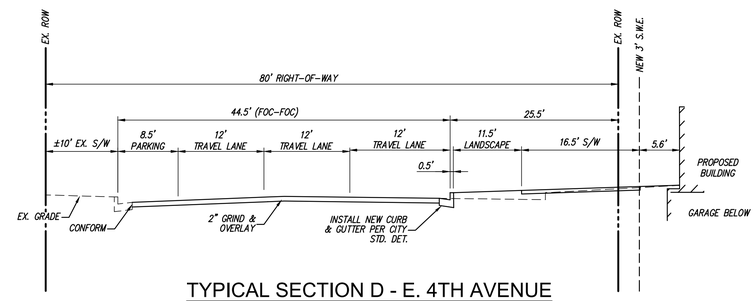
TYPICAL SECTION B - E ELLSWORTH AVENUE

SCALE H: 1" = 10'
V: 1" = 5'



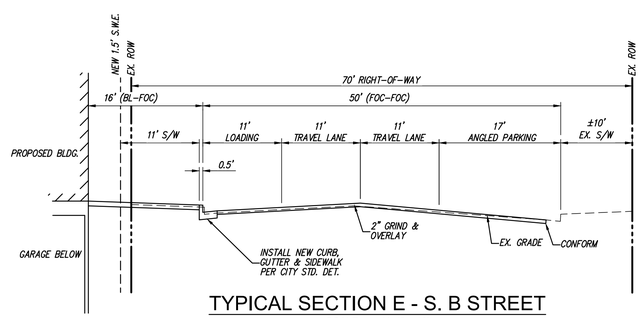
TYPICAL SECTION C - E. 4TH AVENUE

SCALE H: 1" = 10'
V: 1" = 5'



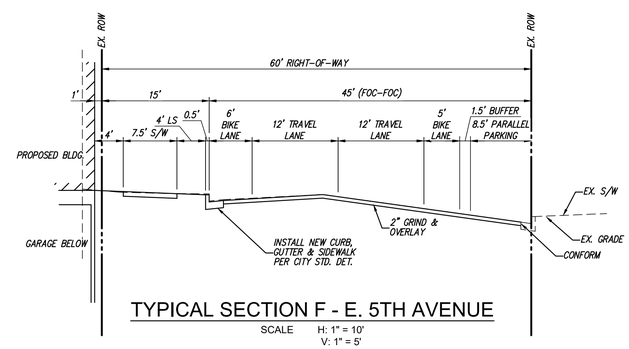
TYPICAL SECTION D - E. 4TH AVENUE

SCALE H: 1" = 10'
V: 1" = 5'



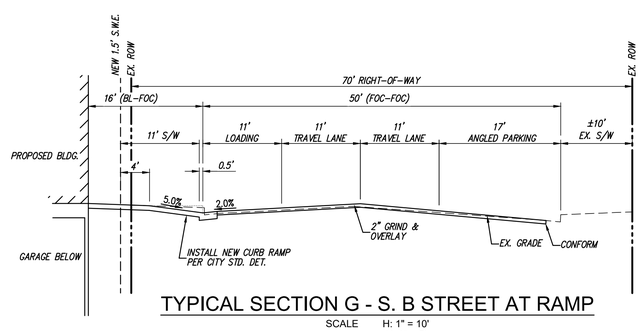
TYPICAL SECTION E - S. B STREET

SCALE H: 1" = 10'
V: 1" = 5'



TYPICAL SECTION F - E. 5TH AVENUE

SCALE H: 1" = 10'
V: 1" = 5'



TYPICAL SECTION G - S. B STREET AT RAMP

SCALE H: 1" = 10'
V: 1" = 5'

Z:\2019\A19538-1\DWG\ENTITLEMENTS\PD PERMIT\A19538-1-PG-SP.dwg 6-17-22 08:49:39 AM mknudsen

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

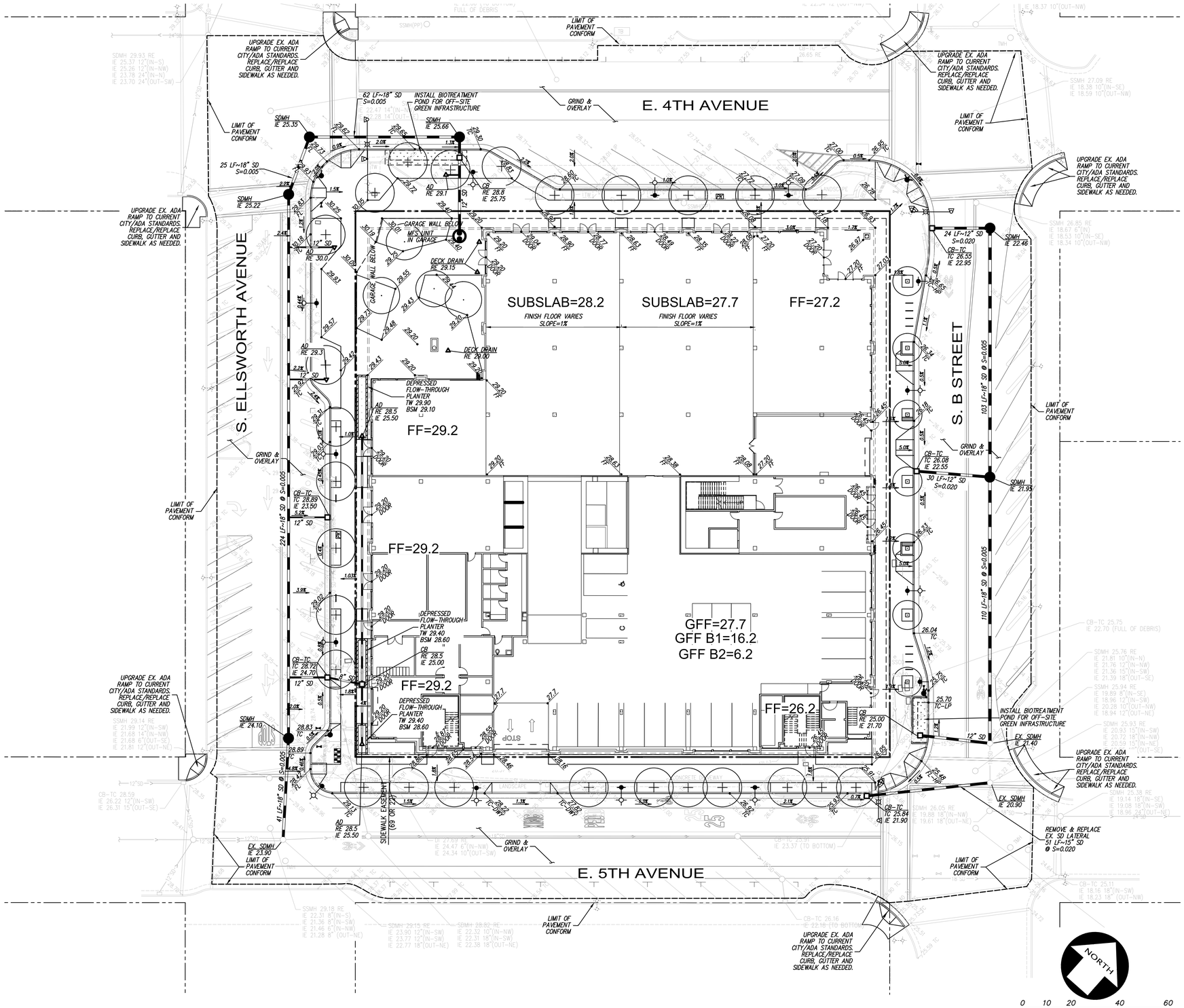
PROJECT NUMBER
A19538-1

SHEET TITLE
TYPICAL SECTIONS

SCALE
AS SHOWN

SHEET NUMBER

C2.01



LEGEND

AD	AREA DRAIN
BSM	BIO SOIL MIX
FL	FLOW LINE
GFF	GARAGE FINISHED FLOOR
HP	HIGH POINT
IE	INVERT
RE	RIM ELEVATION
TC	TOP OF CURB
TW	TOP OF WALL
	STORM DRAIN LINE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	STORM DRAIN MANHOLE
	BACK FLOW PREVENTION DEVICE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT & VALVE
	POST INDICATOR VALVE
SSMH	SANITARY SEWER MANHOLE
	SINGLE CHECK VALVE
SDMH	STORM DRAIN MANHOLE
	WATER METER

Z:\2019\A19538-1\DWG\ENTITLEMENTS\PD PERMIT\A19538-1-PG-GP.dwg 6-17-22 09:42:35 AM mknudsen

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

SHEET TITLE
PRELIMINARY GRADING, DRAINAGE PLAN

SCALE
AS SHOWN

SHEET NUMBER

C3.00

EXISTING PROJECT SEWER FLOWS

COMMERCIAL: 0.00685CFS/ACRE X 1.377AC = 0.0094 CFS
0.0094 CFS = 6,075 GAL/DAY
TOTAL: 6,075 GAL/DAY (DRY CONDITIONS)
PEAK TOTAL: 6,075 X 2.5 = 15,188 GAL/DAY

* PER CITY OF SAN MATEO SSMP ELEMENT 5 – DESIGN & PERFORMANCE STANDARDS.

PROPOSED PROJECT SEWER FLOWS

COMMERCIAL: 0.00685CFS/ACRE X 3.389AC = 0.0232 CFS
0.0232 CFS = 14,995 GAL/DAY
TOTAL: 14,995 GAL/DAY (DRY CONDITIONS)
PEAK TOTAL: 14,995 X 2.5 = 37,488 GAL/DAY

* PER CITY OF SAN MATEO SSMP ELEMENT 5 – DESIGN & PERFORMANCE STANDARDS.

NET PROJECT SEWER FLOWS

NET TOTAL: 14,995 – 6,075 = 8,920 GAL/DAY
8,920 GAL/DAY (DRY CONDITIONS)
NET PEAK TOTAL: 37,488 – 15,188 = 22,300 GAL/DAY
22,300 GAL/DAY (PEAK CONDITIONS)

PROPOSED PROJECT WATER FLOWS

OFFICE: (14,995 GAL/DAY) / 0.95 = 15,784 GAL/DAY
TOTAL: 15,784 GAL/DAY (DRY CONDITIONS)
PEAK TOTAL: 15,784 X 2.5 = 39,460 GAL/DAY

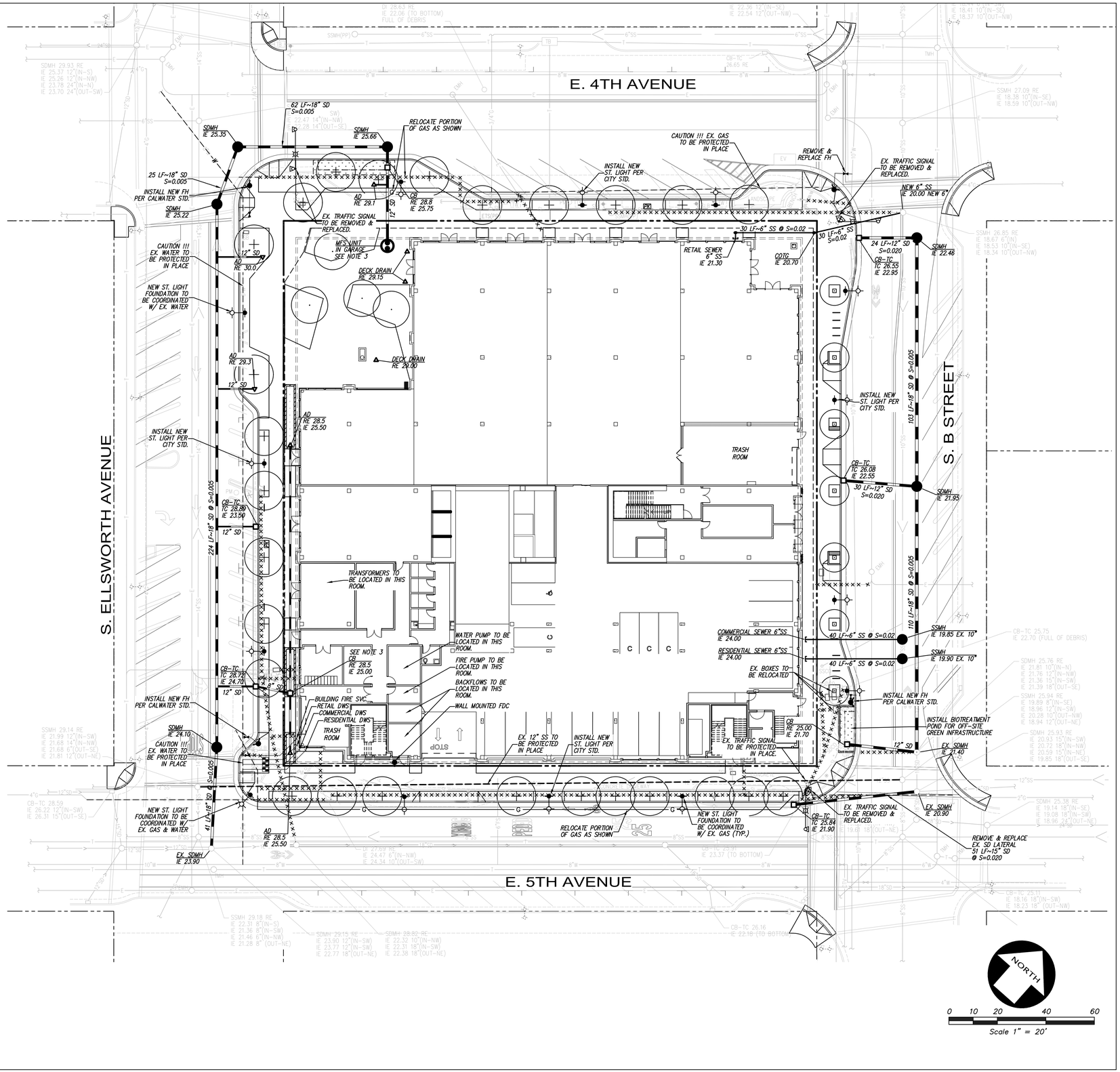
* VALUES ARE BASED ON THE ASSUMPTION THAT 90% OF POTABLE WATER USAGE ENTERS THE PUBLIC SANITARY SEWER

NOTE:

1. GAS METERS SHALL BE LOCATED WITHIN THE BUILDING.
2. ALL HYDRANTS ALONG THE PROJECT FRONTAGE SHALL BE CLOW MODEL 960. EXISTING HYDRANTS TO BE PROTECTED SHALL BE UPGRADED.
3. TRASH CAPTURE DEVICE SHALL BE INSTALLED ON DOWNSTREAM PRIVATE CATCH BASIN PRIOR TO DISCHARGING TO PUBLIC SYSTEM.

LEGEND

AD	AREA DRAIN
BSM	BIO SOIL MIX
FL	FLOW LINE
GFF	GARAGE FINISHED FLOOR
HP	HIGH POINT
IE	INVERT
RE	RIM ELEVATION
TC	TOP OF CURB
TW	TOP OF WALL
	STORM DRAIN LINE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	STORM DRAIN MANHOLE
	BACK FLOW PREVENTION DEVICE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT & VALVE
	POST INDICATOR VALVE
SSMH	SANITARY SEWER MANHOLE
	SINGLE CHECK VALVE
SDMH	STORM DRAIN MANHOLE
	WATER METER



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

SHEET TITLE
PRELIMINARY UTILITY PLAN

SCALE
AS SHOWN

SHEET NUMBER

C4.00

Z:\2019\A19538-1\DWG\ENTITLEMENTS\PD PERMIT\A19538-1_PG-GP.dwg 6-17-22 09:43:09 AM mknudsen

FLOW-THROUGH PLANTER INSPECTION AND MAINTENANCE CHECKLIST

Defect	Conditions When Maintenance Is Needed	Results Expected When Maintenance Is Performed
1. Vegetation	Vegetation is dead, diseased and/or overgrown.	Vegetation is healthy and attractive in appearance.
2. Soil	Soil too deep or too shallow.	Soil is at proper depth (per soil specifications) for optimum filtration and flow.
3. Mulch	Mulch is missing or patchy in appearance. Areas of bare earth are exposed, or mulch layer is less than 3 inches in depth.	All bare earth is covered, except mulch is kept 6 inches away from trunks of trees and shrubs. Mulch is even in appearance, at a depth of 3 inches.
4. Sediment, Trash and Debris Accumulation	Sediment, trash and debris accumulated in the flow-through planter. Planter does not drain as specified.	Sediment, trash and debris removed from flow-through planter and disposed of properly. Planter drains within 3-4 hours.
5. Clogs	Soil too deep or too shallow. Sediment, trash and debris accumulated in the flow-through planter. Planter does not drain within five days after rainfall.	Planter drains per design specifications.
6. Downspouts and Sheet Flow	Flow to planter is impeded. Downspouts are clogged or pipes are damaged. Splash blocks and rocks in need of repair, replacement or replenishment.	Downspouts and sheet flow is conveyed efficiently to the planter.
7. Overflow Pipe	Does not safely convey excess flows to storm drain. Piping damaged or disconnected.	Overflow pipe conveys excess flow to storm drain efficiently.
8. Structural Soundness	Planter is cracked, leaking or falling apart.	Cracks and leaks are repaired and planter is structurally sound.
9. Miscellaneous	Any condition not covered above that needs attention in order for the flow-through planter to function as designed.	Meet the design specifications.

NON-PROPRIETARY MEDIA FILTER INSPECTION AND MAINTENANCE CHECKLIST

Defect	Conditions When Maintenance Is Needed	Results Expected When Maintenance Is Performed
1. Sediment, trash and debris accumulated	Sediment, trash and debris accumulated in the sedimentation basin, riser pipe and filter bed. Filter does not drain as specified.	Sediment, trash and debris removed from sedimentation basin, riser pipe and filter bed and disposed of properly. Filter drains per design specifications.
2. Standing water	Non-proprietary media filter does not drain within five days after rainfall.	Clogs removed from sedimentation basin, riser pipe and filter bed. Filter drains per design specifications.
3. Mosquitoes	Evidence of mosquito larvae in non-proprietary media filter.	Clogs removed from sedimentation basin, riser pipe and filter bed. Filter drains per design specifications.
4. Filter bed	Overall media depth 300 millimeters (12 inches) or less.	Media depth restored to 450 millimeters (18 inches).
5. Miscellaneous	Any condition not covered above that needs attention in order for the non-proprietary media filter to function as designed.	Meet the design specifications.

MEDIA FILTER SIZING

DMA # 1
A= 14204 s.f. A= 0.32608 acre

C Value	Area* (s.f.)	Weighted C Value
0.9	13,138	0.892
0.8	1,066	
0.7	0	
0.1	0	

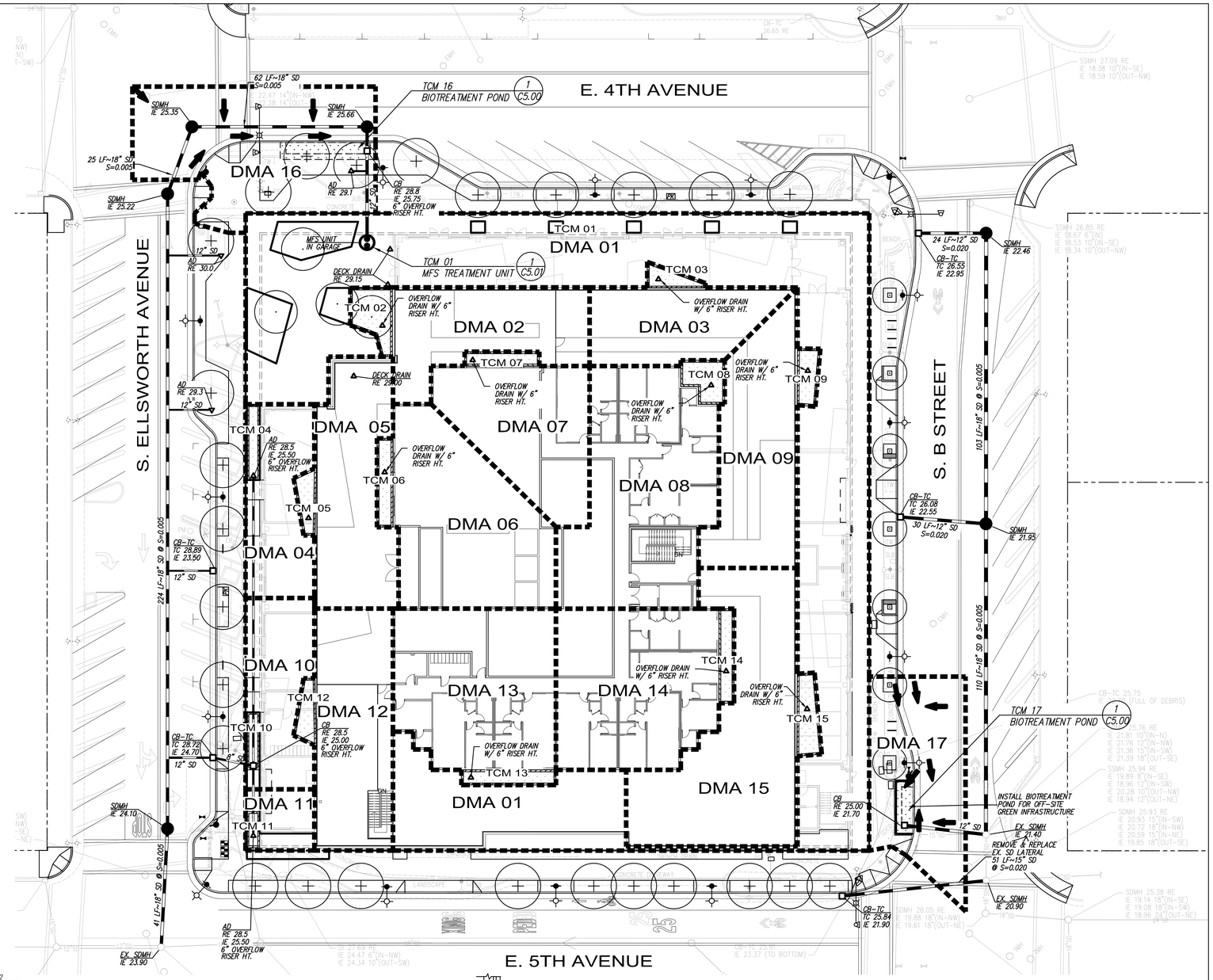
Rainfall Intensity (i)
i = 0.2

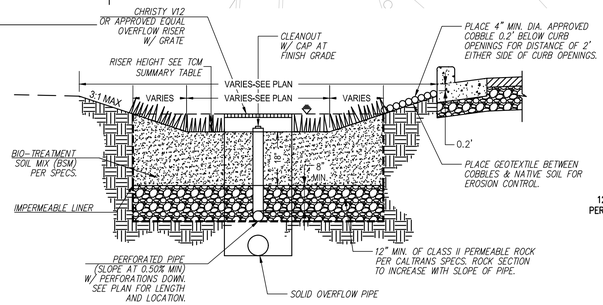
* Input Values by hand or use Table at the bottom of the spreadsheet.

Q= C x i x A
Q= 0.0582048 cfs

Manufacturer: Kristar/Oldcastle
Cartridge Height: 18 in.
Cartidge Media (if applicable): Perk Filter
G.U.L.D. Cartridge Treatment Flowrate (CTF): 10.2 gpm/cartridge

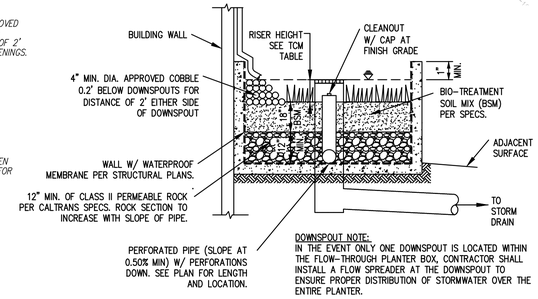
Cartridges= [Q x (449 gpm/cfs)] / CTF
Cartridges = 2.562151 (round up)
 # Cartridges Required= 3
Treatment Flow Rate Capacity= 0.068151 cfs





BIOTREATMENT POND (LINED) SECTION VIEW (1)

NOT TO SCALE



FLOW-THROUGH PLANTER (ABOVE GRADE) (2)

NOT TO SCALE

NOTES

1. NON-LID TREATMENT MEASURES SHALL BE SIZED TO TREAT LID DMAs IF THERE IS NOT DUAL PIPING WITHIN THE BUILDING FOOTPRINT. FINAL MFS UNIT SIZING WILL BE ADJUSTING DURING BUILDING PERMIT STAGE IF NECESSARY.
2. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE C.3 TECHNICAL GUIDANCE DOCUMENT AS IT IS NOT LOCATED WITHIN A SUBWATERSHED AREA LESS THAN 65% IMPERVIOUSNESS ON THE HM APPLICABILITY MAP.
3. ALL LID TREATMENT MEASURES WITHIN THE DEVELOPMENT PROPERTY LINE CONSIST OF FLOW-THROUGH PLANTERS PER DETAIL 2 ON SHEET C5.00.

LEGEND

- TRIBUTARY AREA LIMITS
- DMA — DRAINAGE MANAGEMENT AREA
- TCM — TREATMENT CONTROL MEASURE
- RUNOFF FLOW DIRECTION

NORTH

0 10 20 40 60
Scale 1" = 20'

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

SHEET TITLE
PRELIMINARY STORM WATER QUALITY CONTROL PLAN

SCALE
AS SHOWN

SHEET NUMBER
C5.00

Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-SWM.dwg 6-17-22 08:08:28 AM tknudsen

Manufactured Stormwater Treatment Measure Maintenance Plan
for

222 E. 4TH STREET

February 2020

Manufactured Stormwater Treatment Measures are **PROPRIETARY** treatment devices that tend to be installed below ground and operate using some type of proprietary filter media, hydrodynamic separation, or sedimentation and screening. Common examples of manufactured treatment measures include manufactured media filters, inlet filters or drain inserts, oil/water separators and hydrodynamic separators. In August 2004, the Regional Water Board's Executive Office wrote a letter stating that a project relying on inlet filters or oil/water separators as the sole treatment measure would be unlikely to meet the maximum extent practicable standard of the National Polutant Discharge Elimination System Permit. See the Countywide C.3 Technical Guidance (www.flowstobay.org) for more information.

Project Address: 222 E. 4th Street

Assessor's parcel #: APN 034-017-176

Property Owner: Lane Partners Phone No.: (650)-838-0100

Designated Contact: Marcus Gilmour Phone No.: (650)-838-0100

Mailing Address: 644 Menlo Avenue 2nd Floor, Menlo Park, CA 94025

The property contains one Oldcastle Perk Filter
located as described below and as shown in the attached site plan.

Perk Filter is located at Southeasterly corner of property.

I. Routine Maintenance Activities
The principal maintenance objective is to prevent sediment buildup and clogging, which reduces pollutant removal efficiency and may lead to failure of the manufactured treatment measure. Routine maintenance activities, and the frequency at which they will be conducted, are shown in Table 1.

Table 1
Routine Maintenance Activities for Manufactured Treatment Measures

No.	Maintenance Task	Frequency of Task
1	Inspect for standing water, sediment, trash and debris.	Monthly during rainy season
2	Remove sediment, trash and debris from sedimentation basin, riser pipe and filter bed, using vector truck method. Dispose of sediment, trash, filters and debris properly.	As needed
3	Ensure that manufactured treatment measure drains completely within five days.	After major storm events and as needed.
4	Inspect outlets to ensure proper drainage.	Monthly during rainy season, or as needed after storm events
5	Follow manufacturer's guidelines for maintenance and cartridge replacement.	As per manufacturer's specifications.
6	Inspect manufactured treatment measure, using the attached inspection checklist.	Monthly, or after large storm events, and after removal of accumulated debris or material

II. Prohibitions
Trees and other large vegetation shall be prevented from growing adjacent to the manufactured treatment measure to prevent damage.

Standing water shall not remain in the treatment measures for more than five days, to prevent mosquito generation. Should any mosquito issues arise, contact the San Mateo County Mosquito Abatement District (SMCMAD), as needed for assistance. Mosquito larvicides shall be applied only when absolutely necessary, as indicated by the SMCMAD, and then only by a licensed professional or contractor. Contact information for SMCMAD is provided below.

III. Mosquito Abatement Contact Information

San Mateo County Mosquito Abatement District
1351 Rollins Road
Burlingame, CA 94010
PH:(650) 344-8592
FAX: (650) 344-3843
Email: info@smcmad.org

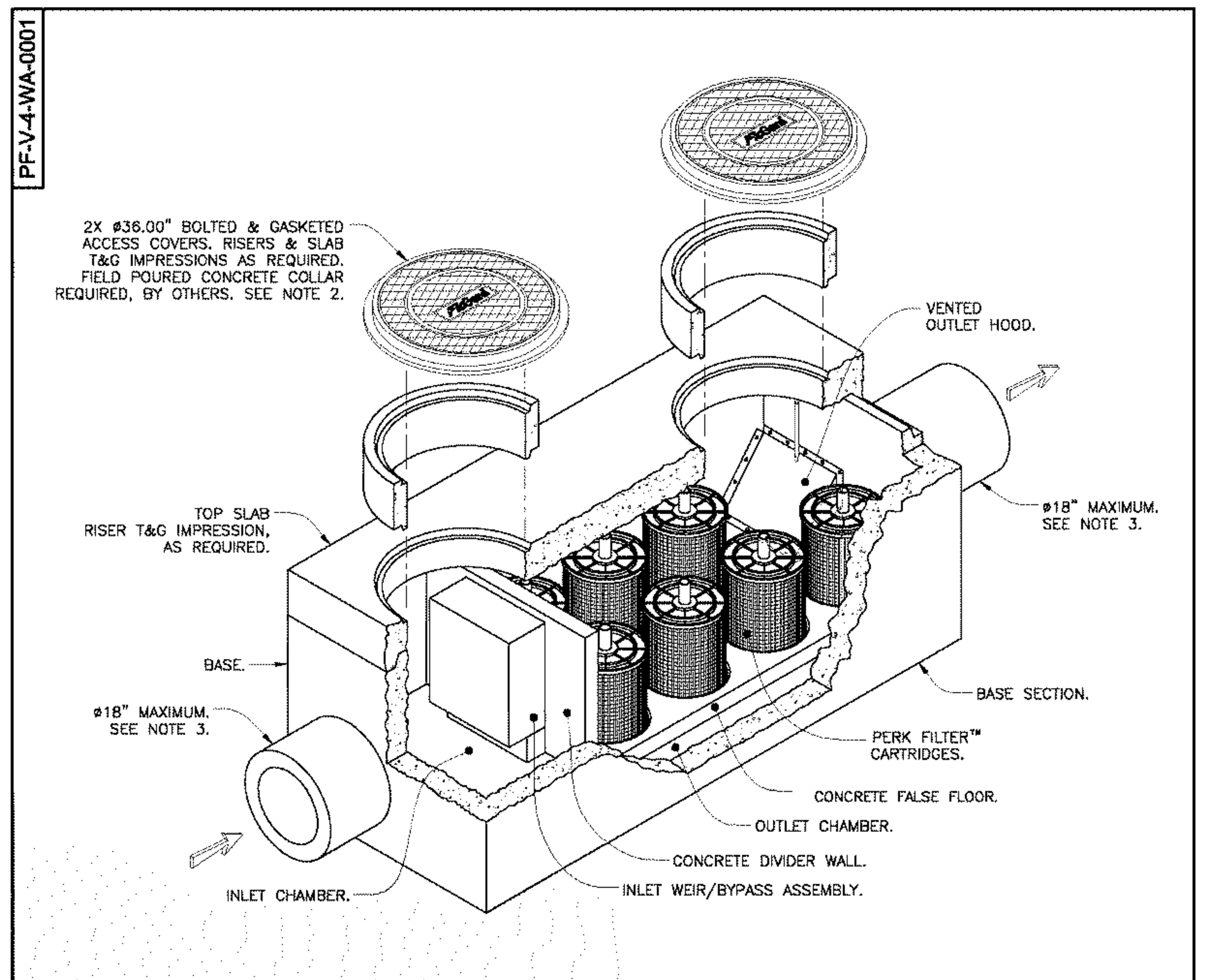
IV.
Inspections
The attached Treatment Measure Inspection and Maintenance Checklist shall be used to conduct inspections monthly (or as needed), identify needed maintenance, and record maintenance that is conducted.

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)	# of Credit Trees	Treatment Credit (s.f.)	Comments
1	N/A	Onsite	Proprietary Media Filter System (MFS)	Non-LID	N/A	14,204	13,138	0	1,066	28.71%	N/A	N/A	N/A	N/A	N/A	3	3		18	N/A	N/A	
2	2	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	2,243	2,024	0	219	4.53%	81 sf	81	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
3	3	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	1,728	1,649	0	79	3.49%	66 sf	66	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
4	4	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	1,535	1,455	0	80	3.10%	58 sf	58	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
5	5	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	2,386	2,286	0	100	4.82%	91 sf	91	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
6	6	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	3,314	3,186	0	128	6.70%	127 sf	127	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
7	7	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	2,351	2,259	0	92	4.75%	90 sf	90	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
8	8	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	4,102	3,942	0	160	8.29%	158 sf	158	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
9	9	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	2,577	2,466	0	111	5.21%	99 sf	99	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
10	10	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	1,515	1,455	0	60	3.06%	58 sf	58	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
11	11	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	525	343	0	182	1.06%	14 sf	14	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
12	12	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	2,490	2,390	0	100	5.03%	96 sf	96	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
13	13	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	3,306	3,178	0	128	6.68%	127 sf	127	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
14	14	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	3,306	3,178	0	128	6.68%	127 sf	127	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
15	15	Onsite	Flow-Through planter (concrete lined*) w/ underdrain	LID	3. Flow-Volume Combo	3,885	3,716	0	169	7.85%	149 sf	149	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
					Totals:	49,467	46,665	0	2,802	100.00%												

DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Off-Site Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)	# of Credit Trees	Treatment Credit (s.f.)	Comments
16	16	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	1,922	1,652	0	270	45.26%	66 sf	66	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
17	17	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	2,325	1,765	0	560	54.74%	71 sf	71	6	6	6	N/A	N/A	N/A	N/A	N/A	N/A	
					Totals:	4,247	3,417	0	830	100.00%												

PF-V-4-WA-0001



Notes:

1. Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
2. Filter system shall be supplied with traffic rated (H20) bolted & gasketed Ø36" circular access covers with risers as required. Shallow applications may require configurations with (H20) bolted & gasketed square/rectangular access hatches. Field poured concrete collars required, by others.
3. Inlet & outlet pipe(s) (Ø 18" maximum) may enter device on all three sides of the inlet & outlet chambers respectively.
4. Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
5. For depths less than specified minimums contact Oldcastle® Stormwater Solutions for engineering assistance.

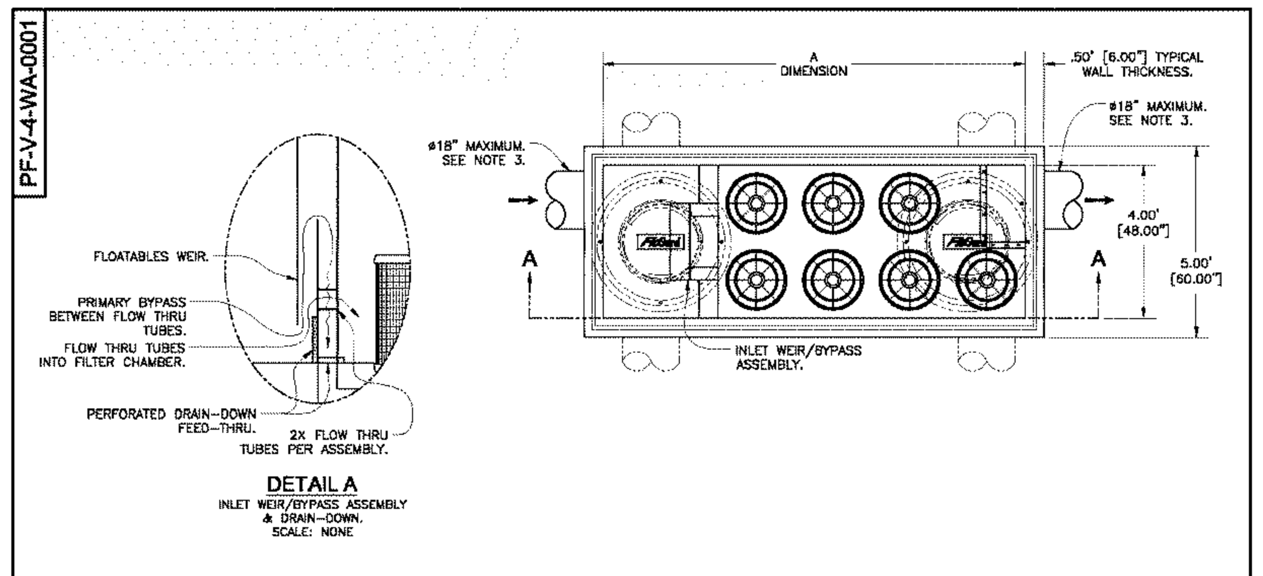
Perk Filter™
4' Wide Concrete Vault
Washington State GULD
Three to Seven Cartridges / Stacks
Media Filtration

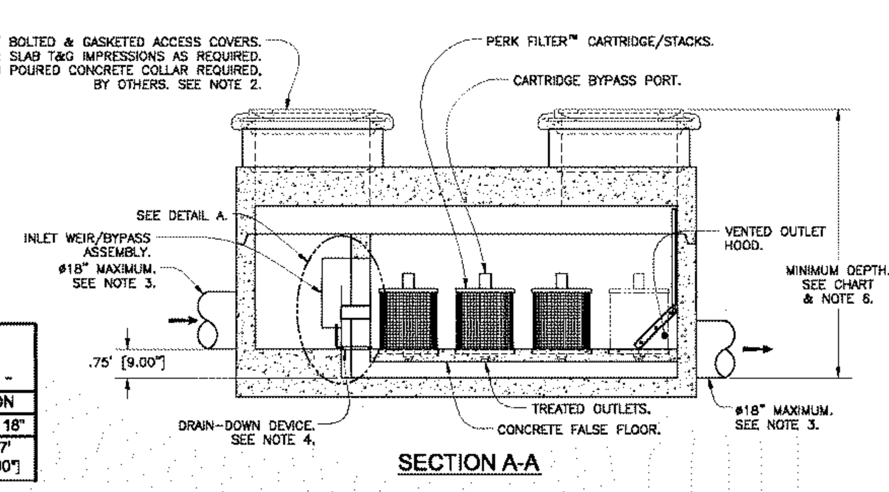
Oldcastle® Stormwater Solutions
7921 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

THIS DOCUMENT IS THE PROPERTY OF OLDCASTLE PRECAST, INC. IT IS SUBMITTED FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED IN ANY WAY INJURIOUS TO THE INTERESTS OF SAID COMPANY. COPYRIGHT © 2010 OLDCASTLE PRECAST, INC. ALL RIGHTS RESERVED.

DRAWING NO. PF-V-4-WA-0001 | REV D | ECO ECO-0122 JPR 10/3/14 | DATE JPR 3/2/11 | SHEET 1 OF 2

PF-V-4-WA-0001





MINIMUM DEPTH
- RIM TO OUTLET INVERT -

CARTRIDGE STACK CONFIGURATION			
12"	»18"	12" + 12"	12" + 18"
4.25' [51.00"]	5.00' [60.00"]	5.92' [71.00"]	6.67' [80.00"]

4' VAULT
TREATMENT FLOW RATES, TOTAL FLOW CAPACITIES & MAXIMUM HEAD LOSS

CARTRIDGE STACK QUANTITY	A DIMENSION - LENGTH - (ID-FEET)	12" TREATMENT FLOW RATE (GPM / CFS)	12" TOTAL FLOW CAPACITY (CFS)	»18" TREATMENT FLOW RATE (GPM / CFS)	»18" TOTAL FLOW CAPACITY (CFS)	12" & 12" TREATMENT FLOW RATE (GPM / CFS)	12" & 12" TOTAL FLOW CAPACITY (CFS)	12" & 18" TREATMENT FLOW RATE (GPM / CFS)	12" & 18" TOTAL FLOW CAPACITY (CFS)
3	7	20.4 / 0.045	2.9	30.6 / 0.068	4.3	40.8 / 0.091	5.0	51.0 / 0.114	6.7
4	9	27.2 / 0.061	2.9	40.8 / 0.091	4.4	54.4 / 0.121	5.0	68.0 / 0.152	6.8
5	9	34.0 / 0.076	2.9	51.0 / 0.114	4.4	68.0 / 0.152	5.1	85.0 / 0.190	6.8
»6	11	40.8 / 0.091	3.0	61.2 / 0.136	4.5	81.6 / 0.182	5.1	102.0 / 0.227	6.9
7	11	47.6 / 0.106	3.0	71.4 / 0.159	4.5	95.2 / 0.212	5.2	119.0 / 0.265	7.0
MAXIMUM HEAD LOSS		1.7 FEET		2.3 FEET		2.9 FEET		3.5 FEET	

Perk Filter™
4' Wide Concrete Vault
Washington State GULD
Three to Seven Cartridges / Stacks
Media Filtration

Oldcastle® Stormwater Solutions
7921 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

THIS DOCUMENT IS THE PROPERTY OF OLDCASTLE PRECAST, INC. IT IS SUBMITTED FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED IN ANY WAY INJURIOUS TO THE INTERESTS OF SAID COMPANY. COPYRIGHT © 2010 OLDCASTLE PRECAST, INC. ALL RIGHTS RESERVED.

DRAWING NO. PF-V-4-WA-0001 | REV D | ECO ECO-0122 JPR 10/3/14 | DATE JPR 3/2/11 | SHEET 2 OF 2

MEDIA FILTRATION SYSTEM DETAIL (1)

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

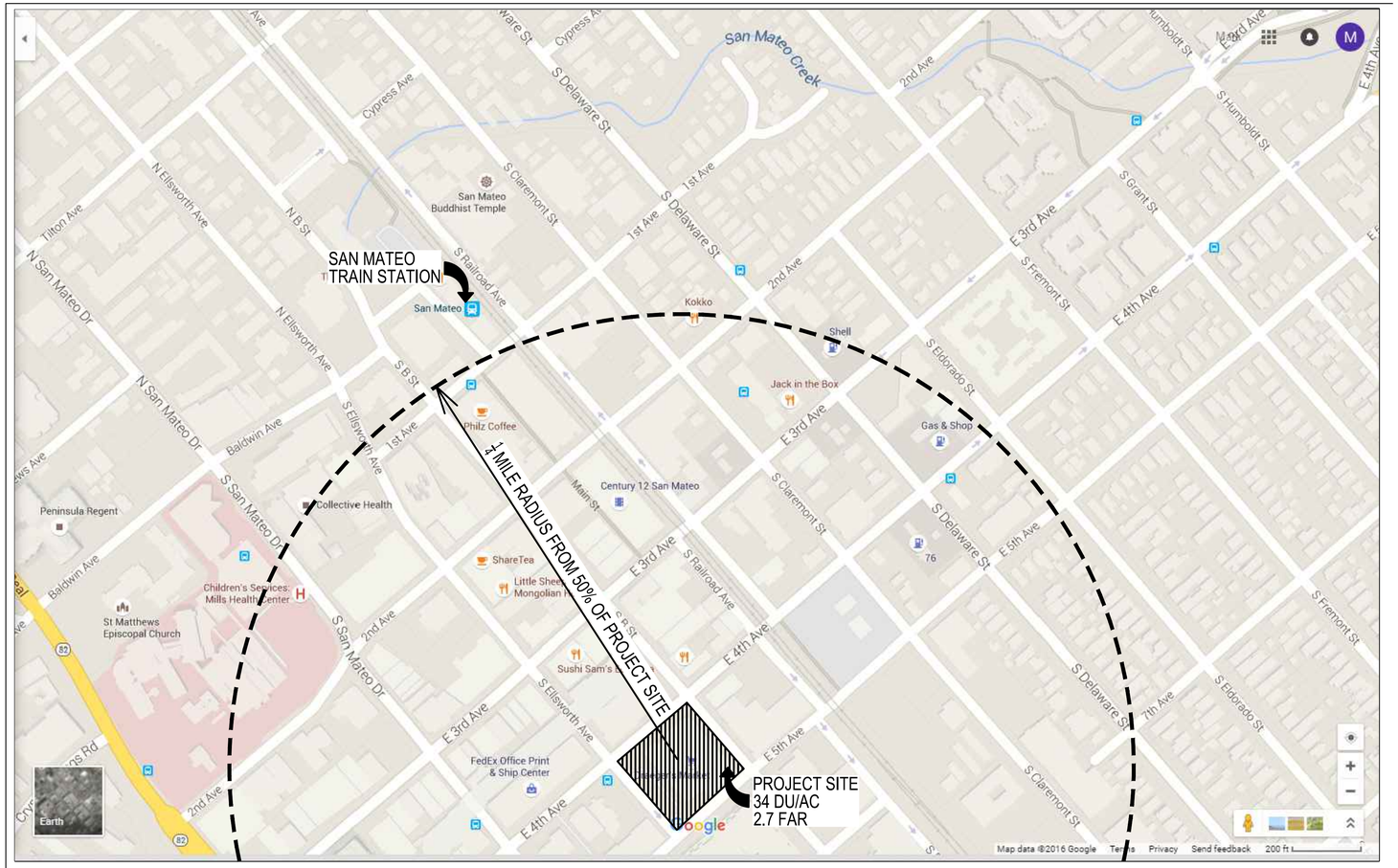
PROJECT NUMBER
A19538-1

SHEET TITLE
PRELIMINARY STORMWATER QUALITY CONTROL NOTES, DETAILS & CALCULATIONS

SCALE
AS SHOWN

SHEET NUMBER
C5.01

Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-SWM.dwg 6-17-22 08:08:30 AM tknudsen



J.4 Category C: Transit-Oriented Development

The defining criteria and LID treatment reduction credits for Category C projects are described below.

CRITERIA FOR CATEGORY C (TRANSIT ORIENTED DEVELOPMENT) SPECIAL PROJECTS

To be considered a Category C Special Project, a Provision C.3 Regulated Project must meet all of the following criteria:

1. Be characterized as a non-auto-related land use project. That is, Category C specifically excludes any Regulated Project that is a stand-alone surface parking lot; car dealership; auto and truck rental facility with onsite surface storage; fast-food restaurant, bank or pharmacy with drive-through lanes; gas station, car wash, auto repair and service facility; or other auto-related project unrelated to the concept of Transit-Oriented Development.
2. If a commercial project, achieve at least an FAR of 2:1.
3. If a residential development project, achieve at least a gross density of 25 DU/Ac.
4. If a mixed-use development project, achieve an FAR of at least 2:1, or a gross density of 25 DU/Ac.

Worksheet F
Special Projects

Complete this worksheet for projects that appear to meet the definition of "Special Project", per Provision C.3.e.ii of the Municipal Regional Stormwater Permit (MRP). The form assists in determining whether a project meets Special Project criteria, and the percentage of low impact development (LID) treatment reduction credit. Special Projects that implement less than 100% LID treatment must provide a narrative discussion of the feasibility or infeasibility of 100% LID treatment. See Appendix J of the C.3 Technical Guidance Handbook (download at www.flowstobay.org) for more information.

F.1 "Special Project" Determination *(Check the boxes to determine if the project meets any of the following categories.)*

Special Project Category "A"

Does the project have ALL of the following characteristics?

- ☐ Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district[15];
- ☐ Creates and/or replaces 0.5 acres or less of impervious surface;
- ☐ Includes no surface parking, except for incidental parking for emergency vehicle access, ADA access, and passenger or freight loading zones;
- ☐ Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment.

☐ No (continue) ☐ Yes – Complete Section F.2 below

Special Project Category "B"

Does the project have ALL of the following characteristics?

- ☐ Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district[20];
- ☐ Creates and/or replaces more than 0.5 acres of impervious area and less than 2.0 acres;
- ☐ Includes no surface parking, except for incidental parking for emergency access, ADA access, and passenger or freight loading zones;
- ☐ Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment;
- ☐ Minimum density of either 50 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2:1 (for commercial projects) - mixed use projects may use either criterion. **Note Change on 7/1/16**[16]

☐ No (continue) ☐ Yes – Complete Section F-2 below

Special Project Category "C"

Does the project have ALL of the following characteristics?

- ☑ At least 50% of the project area is within 1/2 mile of an existing or planned transit hub[17] or 100% within a planned Priority Development Area[18];
- ☑ The project is characterized as a non-auto-related use[19]; and
- ☑ Minimum density of either 25 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2:1 (for commercial projects) - mixed use projects may use either criterion. **Note Change on 7/1/16**[16]

☐ No (continue) ☑ Yes – Complete Section F-2 below

[15] And built as part of a municipality's stated objective to preserve/enhance a pedestrian-oriented type of urban design.

[16] **Effective 7/1/16**, the MRP establishes definitions for "Gross Density"(GD) & FAR. GD is defined as, "the total number of residential units divided by the acreage of the entire site area, including land occupied by public right-of-ways, recreational, civic, commercial and other non-residential uses." FAR is defined as," the Ratio of the total floor area on all floors of all buildings at a project site (except structures, floors, or floor areas dedicated to parking) to the total project site area.

[17] "Transit hub" is defined as a rail, light rail, or commuter rail station, ferry terminal, or bus transfer station served by three or more bus routes. (A bus stop with no supporting services does not qualify.)

[18] A "planned Priority Development Area" is an infill development area formally designated by the Association of Bay Area Government's / Metropolitan Transportation Commission's FOCUS regional planning program.

[19] Category C specifically excludes stand-alone surface parking lots; car dealerships; auto and truck rental facilities with onsite surface storage; fast-food restaurants, banks or pharmacies with drive-through lanes; gas stations; car washes; auto repair and service facilities; or other auto-related project unrelated to the concept of transit oriented development.

F.2 LID Treatment Reduction Credit Calculation

(If more than one category applies, choose only one of the applicable categories and fill out the table for that category.)

Category	Impervious Area Created/Replaced (sq. ft.)	Site Coverage (%)	Project Density[16] or FAR[16]	Density/Criteria	Allowable Credit (%)	Applied Credit (%)
A			N.A.	N.A.	100%	
B				Res ≥ 50 DU/ac or FAR ≥ 2:1	50%	
				Res ≥ 75 DU/ac or FAR ≥ 3:1	75%	
				Res ≥ 100 DU/ac or FAR ≥ 4:1	100%	
C	46,665	100		**Location credit (select one)[20]:**		
				Within ¼ mile of transit hub	50%	
				Within ½ mile of transit hub	25%	25
				Within a planned PDA	25%	
			2.98	**Density credit (select one):**		
				Res ≥ 30 DU/ac or FAR ≥ 2:1	10%	10
				Res ≥ 60 DU/ac or FAR ≥ 4:1	20%	
				Res ≥ 100 DU/ac or FAR ≥ 6:1	30%	
				Parking credit (select one):		
				≤ 10% at-grade surface parking[21]	10%	
				No surface parking	20%	20
				TOTAL TOD CREDIT =		55

F.3 Narrative Discussion of the Feasibility/Infeasibility of 100% LID Treatment:

If project will implement less than 100% LID, prepare a discussion of the feasibility or infeasibility of 100% LID treatment, as described in Appendix K of the C.3 Technical Guidance.

F.4 Select Certified Non-LID Treatment Measures:

If the project will include non-LID treatment measures, select a treatment measure certified for "Basic" General Use Level Designation (GULD) by the Washington State Department of Ecology's Technical Assessment Protocol – Ecology (TAPE). Guidance is provided in Appendix K of the C.3 Technical Guidance (download at www.flowstobay.org).[22]

[20] To qualify for the location credit, at least 50% of the project's site must be located within the ¼ mile or ½ mile radius of an existing or planned transit hub, as defined on page 1, footnote 2. A planned transit hub is a station on the MTC's Regional Transit Expansion Program list, per MTC's Resolution 3434 (revised April 2006), which is a regional priority funding plan for future transit stations in the San Francisco Bay Area. To qualify for the PDA location credit, 100% of the project site must be located within a PDA, as defined on page 1, footnote 3.

[21] The at-grade surface parking must be treated with LID treatment measures.

[22] TAPE certification is used in order to satisfy Special Project's reporting requirements in the MRP.

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

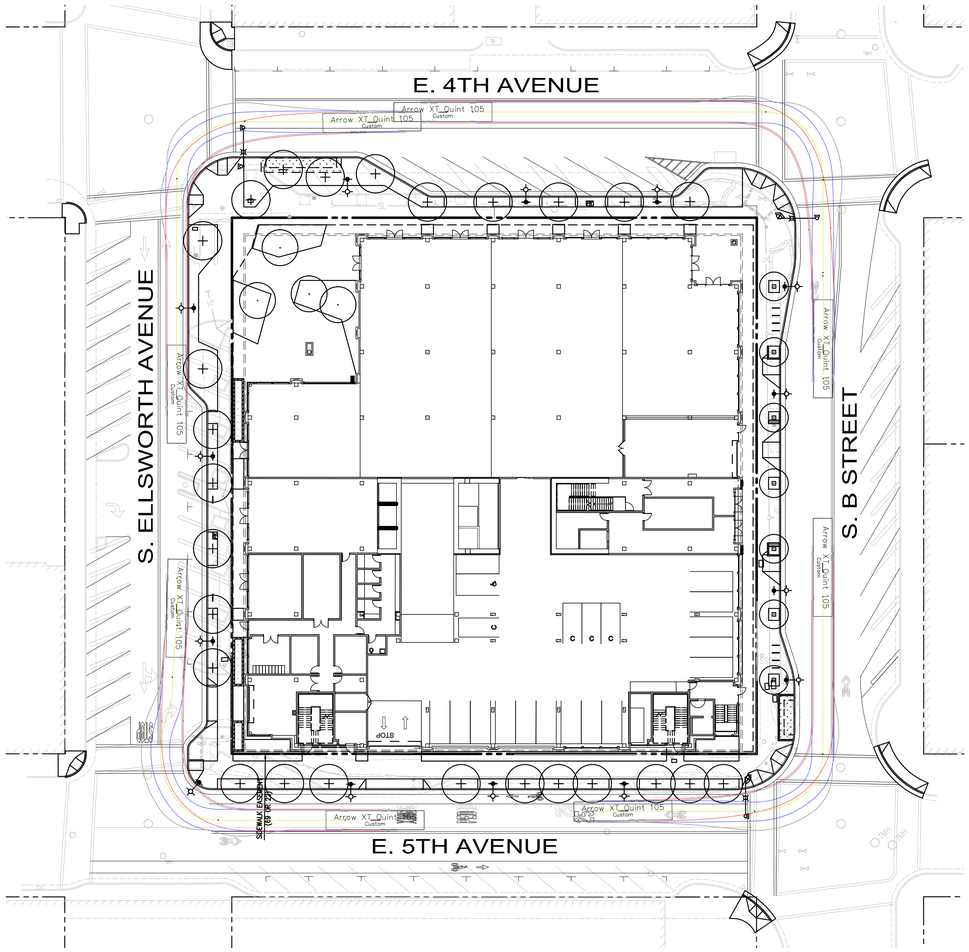
SHEET TITLE
PRELIMINARY LOW IMPACT DEVELOPMENT REDUCTION CALCULATIONS

SCALE
AS SHOWN

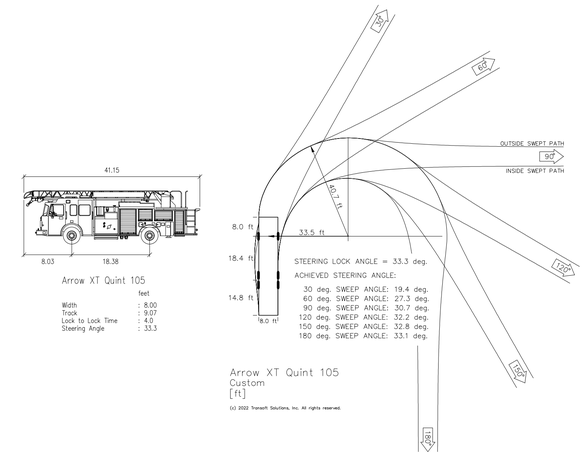
SHEET NUMBER

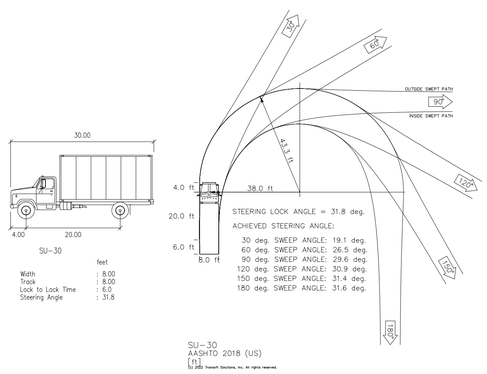
C5.02

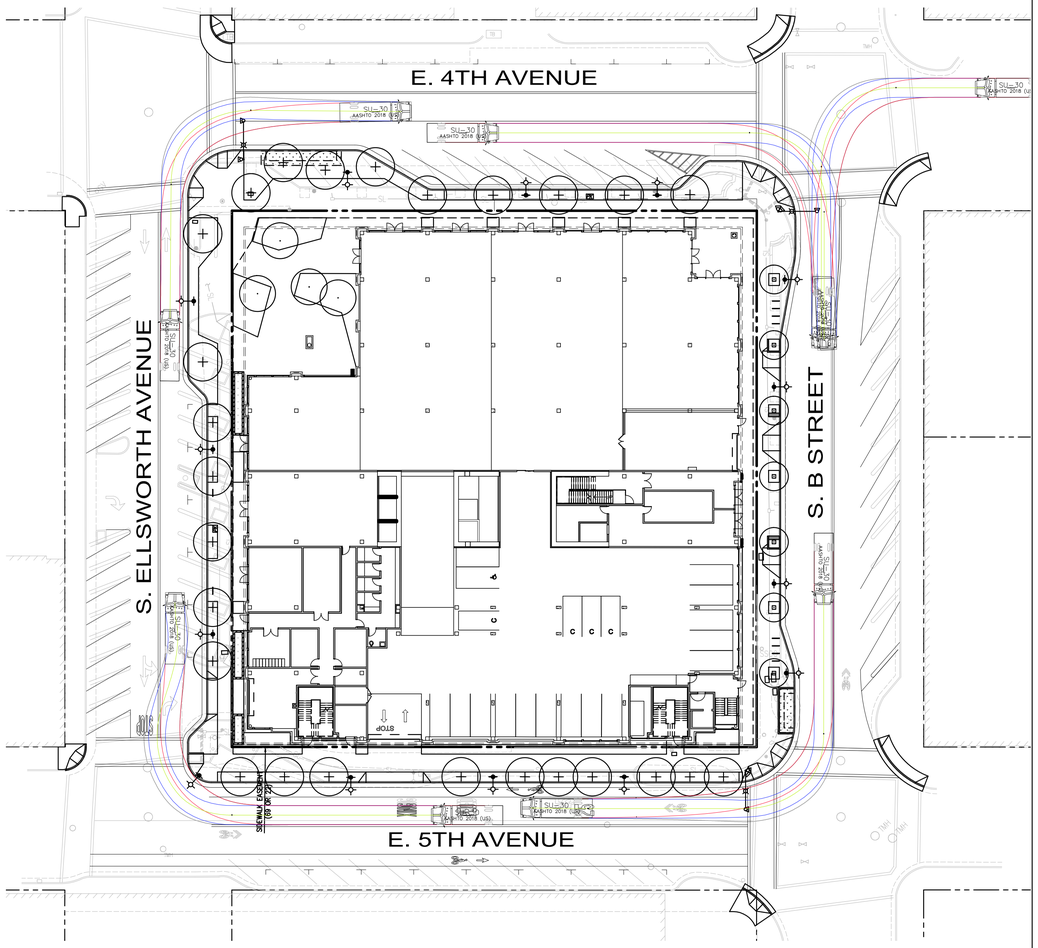
Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-SWM.dwg 6-17-22 08:08:32 AM tkrudsen



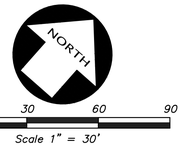
FIRE TRUCK TURNING







SU-30 TRUCK TURNING



LEGEND

- VEHICLE FRONT WHEEL TRACK
- VEHICLE REAR WHEEL TRACK
- CENTER LINE OF VEHICLE PATH
- VEHICLE BODY

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

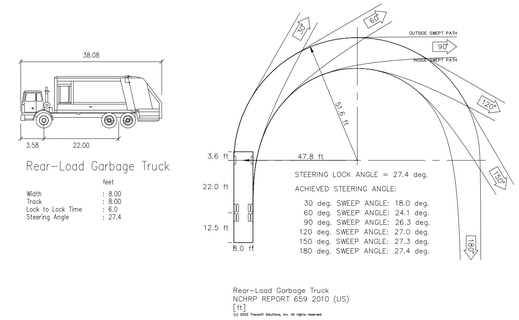
SHEET TITLE
VEHICLE TURNING ANALYSIS

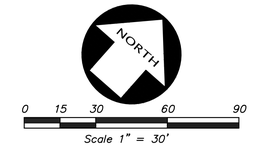
SCALE
AS SHOWN

SHEET NUMBER

C6.00

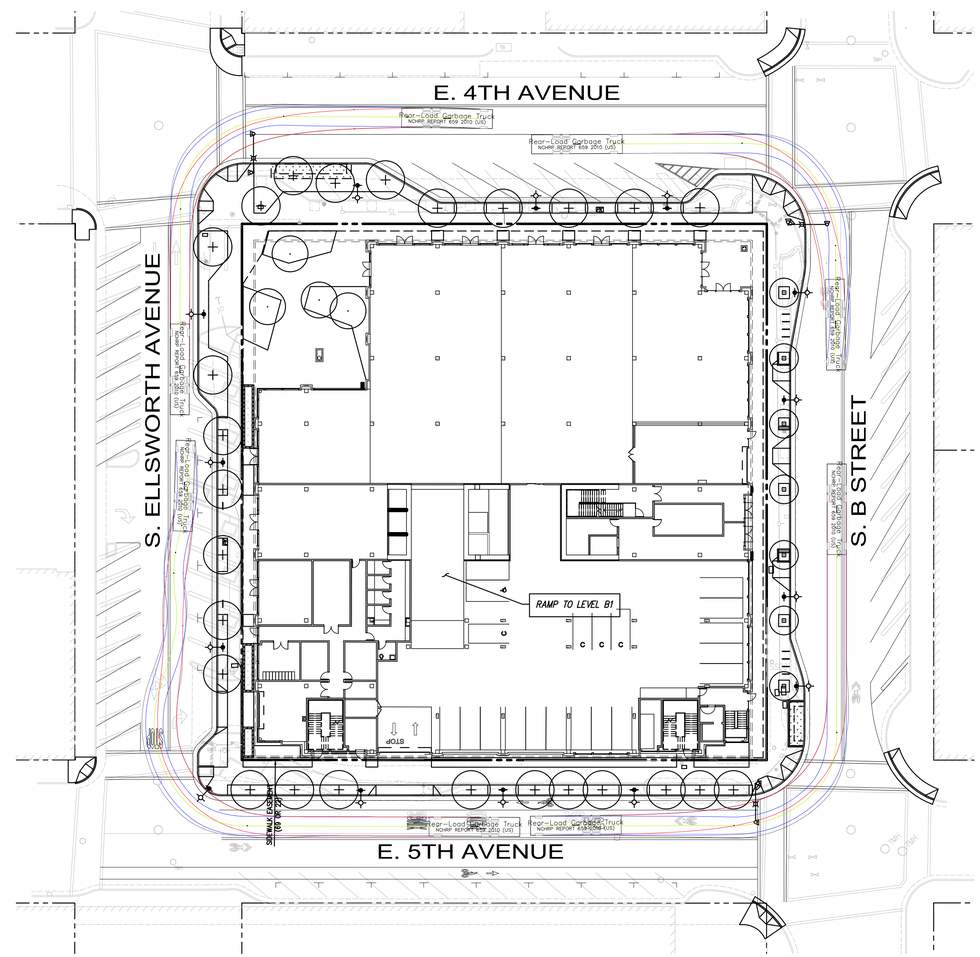
Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-TRK.dwg 6-17-22 08:08:51 AM lknudsen





LEGEND

- VEHICLE FRONT WHEEL TRACK
- VEHICLE REAR WHEEL TRACK
- CENTER LINE OF VEHICLE PATH
- VEHICLE BODY



GARBAGE TRUCK TURNING

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

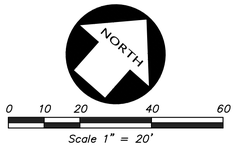
SHEET TITLE
VEHICLE TURNING ANALYSIS

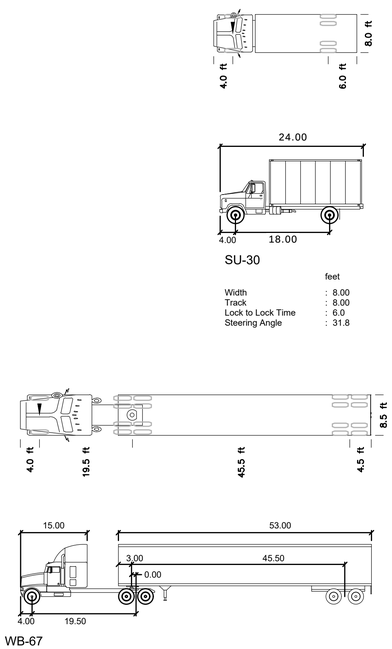
SCALE
AS SHOWN

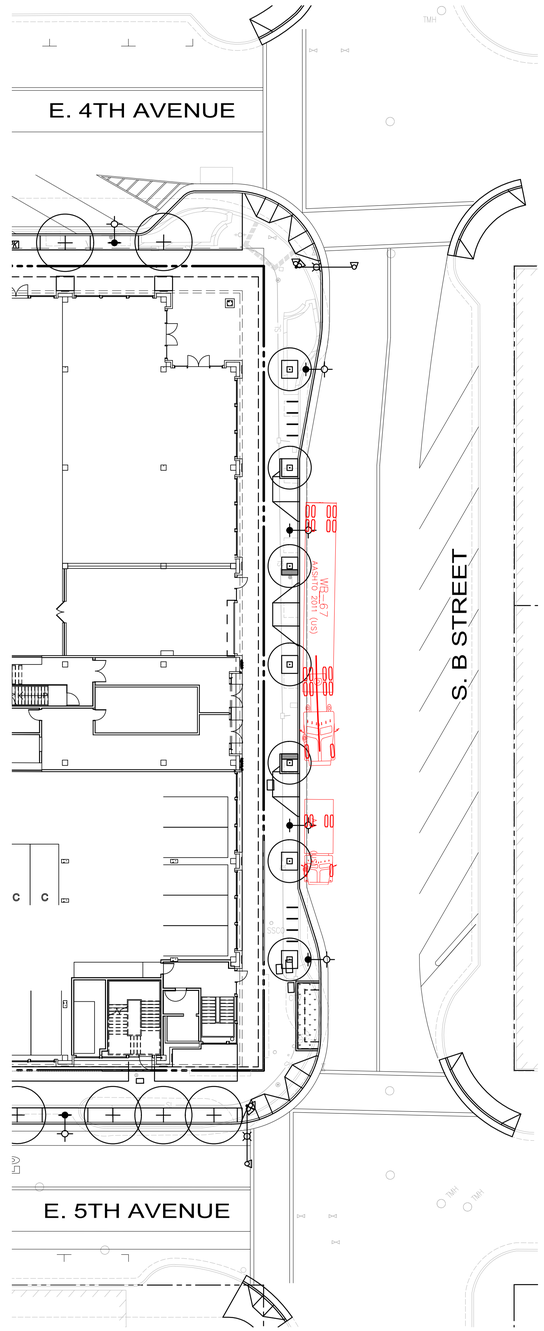
SHEET NUMBER

C6.01

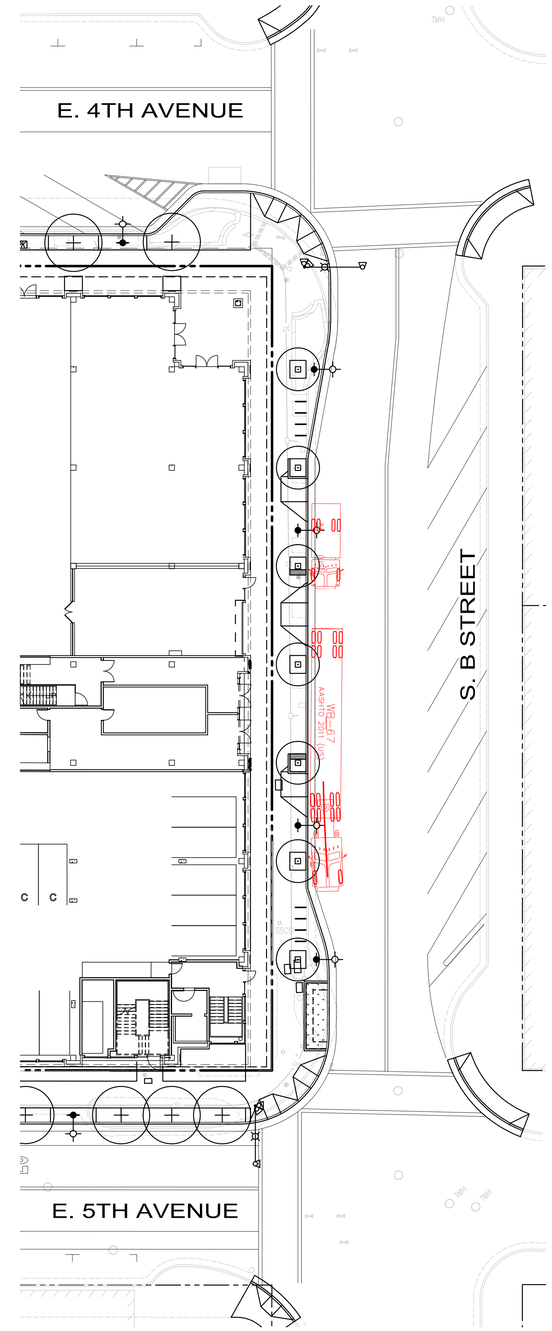
Z:\2019\A19538-1\DWG\entitlements\pd permit\A19538-1-PG-TRK.dwg 6-17-22 08:08:54 AM tknudsen







BOX TRUCK ENTERING FIRST



WB-67 TRUCK ENTERING FIRST

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

KIER+WRIGHT

3350 Scott Boulevard, Building 22
Santa Clara, California 95054
Phone: (408) 727-6665
www.kierwright.com

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/2020	Pre-Application Set
B	10/21/2020	Pre-App Resubmittal
C	03/19/2021	Pre-App Resubmittal
D	10/15/2021	Pre-App Resubmittal
E	02/04/2022	Pre-App Resubmittal
F	04/22/2022	Pre-App Resubmittal
G	06/15/2022	Pre-App Resubmittal

PROJECT NUMBER
A19538-1

SHEET TITLE
DELIVERY TRUCK ARRIVAL ANALYSIS

SCALE
AS SHOWN

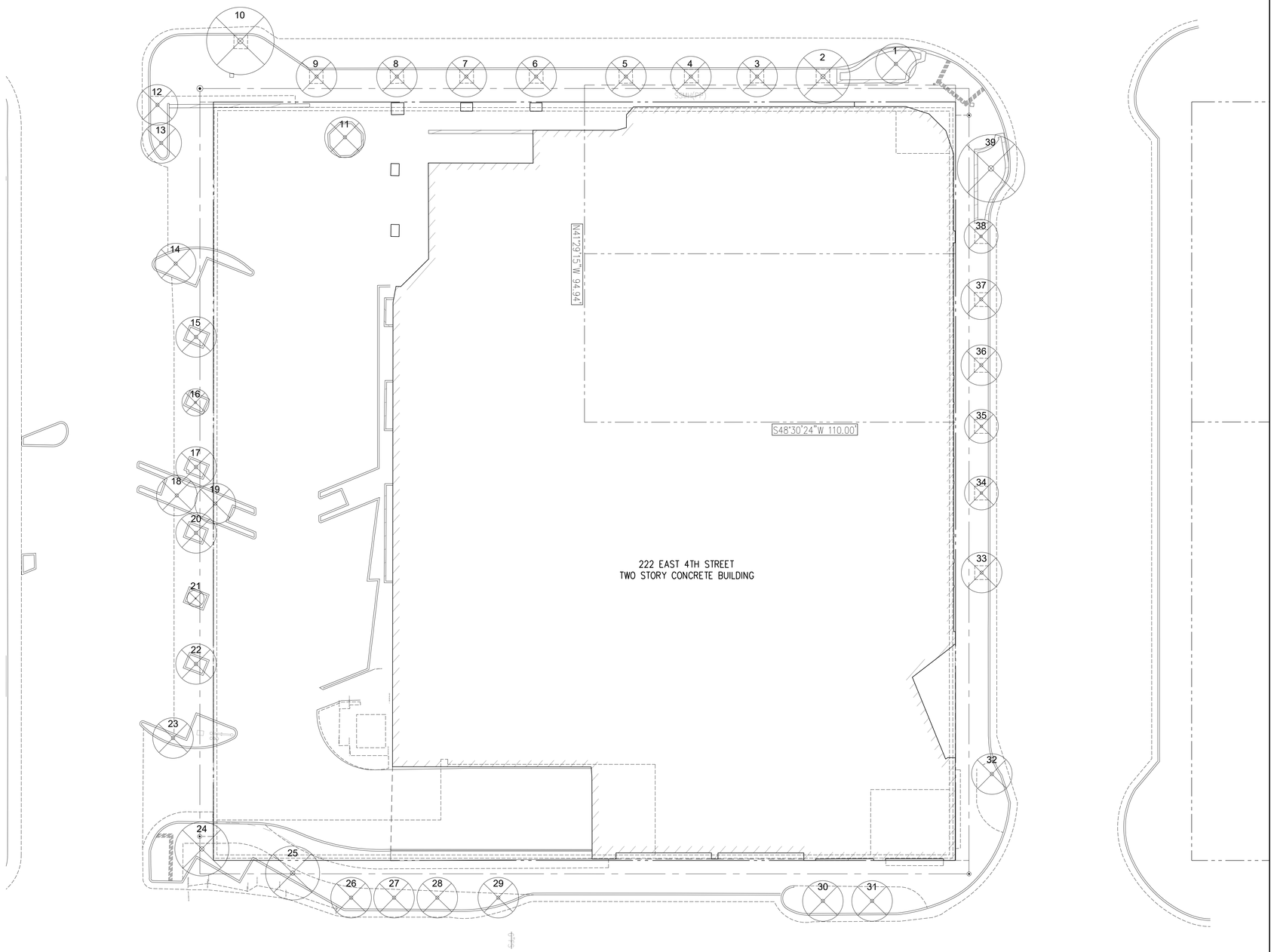
SHEET NUMBER

C6.02

Z:\2019\A19538-1\DWG\ENTITLEMENTS\PD PERMIT\A19538-1-PG-TRK.dwg 6-17-22 09:58:54 AM mknudsen

LEGEND OF SYMBOLS

- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE RELOCATED
- EXISTING TREE TO BE REMOVED



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
TREE PROTECTION PLAN

SCALE
1/16"=1'-0"

SHEET NUMBER

L-002

Tree Inventory, Assessment and Protection Report

222 E. 4th Street
San Mateo, CA

July 17, 2020
Revised October 20, 2021

Prepared for:

Lane Partners, LLC

Prepared By:

Richard Gessner
ASCA - Registered Consulting Arborist ® #496
ISA - Board Certified Master Arborist® WE-4341B

Monarch Consulting Arborists

Richard Gessner
P.O. Box 1010 – Felton, CA 95018
1 831 331 8982
www.monarcharborists.com

© Copyright Monarch Consulting Arborists LLC, 2021

Table of Contents

Summary....1
Introduction....1
Observations....3
Analysis....4
Discussion....5
Conclusion....7
Recommendations....7
Bibliography....7
Glossary of Terms....8
Appendix A: Tree Inventory Locations....9
Appendix B: Tree Inventory Table....10
Appendix C: Photographs....13
Qualifications, Assumptions, and Limiting Conditions....17
Certification of Performance....18

Summary

There are no "Heritage Trees" as defined by the ordinance and all the trees are "Street Trees" except one (#11). The inventory contains thirty-nine (39) trees comprised of four different species. There are five tulip poplar (*Liriodendron tulipifera*), eleven olives (*Olea eurpaea*), seventeen hackberry (*Celtis occidentalis*), and six Brisbane box (*Lophostemon confertus*). Most of the tree are in fair condition with thirteen good, one poor, two very poor, and the remaining twenty-three in fair shape and most have fair suitability for preservation except for the tulip poplars. All the trees will be highly impacted and are proposed to be removed. No tree protection is warranted. The average L/U Value was calculated to be 4.079.

Introduction

Background

Lane Partners, LLC asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

Assignment

- Provide an arborist's report that includes an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings.
- Provide tree protection specifications, guidelines, and expected impact ratings for trees that may be affected by the project.
- Provide LU values according to the City of San Mateo ordinance 27.71.150.

Limits of the assignment

- The information in this report is limited to the condition of the trees and site during my inspection on July 15, 2020. No tree risk assessments were performed.
- Only the landscape plans were provided for this assignment.

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source	Notes
Existing Site Topographic Map or A.L.T.A with tree locations	June 2019	1	Yes	Kier + Wright	
Proposed Sit Plan			No		
Demolition Plan			No		
Construction Staging			No		
Grading and Drainage			No		
Utility Plan and Hook-up locations			No		
Exterior Elevations			No		
Landscape Plan	March 19, 2021	L-100, L-101, L-102	Yes	Andrea Cochrane Landscape Architect	
Irrigation Plan			No		
T-1 Tree Protection Plan			No		

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the property owners, owner's agents, and the City of San Mateo as a reference for existing tree and site conditions to help satisfy planning requirements.

Observations

Tree Inventory

The inventory contains all the trees six inches in diameter and greater measured at forty-eight inches above grade. The City of San Mateo ordinance 13.52.020 defines "Heritage Trees" as the following:

13.52.020 Definition

A. Heritage tree is any of the following:
   1. Any bay (*Umbellularia californica*), buckeye (*Aesculus spp.*), oak (*Quercus spp.*), cedar (*Cedrus spp.*) or redwood (*Sequoia sp.*) tree that has a diameter of ten (10) inches or more measured at forty-eight (48) inches above natural grade.
   2. Any tree or stand of trees designated by resolution of the City Council to be of special historical value or of significant community benefit.
   3. A stand of trees, the nature of which makes each dependent on the others for survival.
   4. Any other tree with a trunk diameter of sixteen (16) inches or more, measured at forty-eight (48) inches above natural grade.

There are no "Heritage Trees" as defined by the ordinance and all the trees are "Street Trees" except one in a container (#11). The trees are all located around the perimeter of the property on 4th, 5th, N. Ellsworth, and B streets.

The inventory contains thirty-nine (39) trees comprised of four different species. There are five tulip poplar (*Liriodendron tulipifera*), eleven olives (*Olea eurpaea*), seventeen hackberry (*Celtis occidentalis*), and six Brisbane box (*Lophostemon confertus*) (Appendix B).

The trees are arbitrarily numbered (no affixed number tags were used for this assignment) around the site counter clockwise starting at the corner of E. 4th Street and B Street (Appendix A).

Analysis

27.71.150 PRESERVATION OF EXISTING TREES.

Landscape Unit Value (LU)

1. The tree species, condition, and location values of the trees shall be based on an evaluation by an experienced landscape appraiser recognized by the American Society of Consulting Arborists utilizing the most recent Guide for Plant Appraisal, published by the Council of Tree and Landscape Appraisers; and approved by the Zoning Administrator.
2. Trees not within the allowable building area shall receive a location factor of 1.0 (100%). Trees located within the allowable building area shall receive a location factor of .70 (70%).
3. Trees designated as heritage trees shall receive a bonus percentage value of 1.25 (125%). Trees located within the allowable building area shall receive a location factor of .70 (70%).
4. Trees designated as heritage trees shall receive a bonus percentage value of 1.25 (125%).

All existing trees to be removed shall be given a LU value based upon the following calculation:

(species value% X condition value% X location value%) /.35 X (caliper inches x bldg./ setback% x heritage tree%) = LU

Tree condition ratings and percentages are defined in the "Condition Rating" section of this report. The location rating were established at 63 percent (the average of site (90%), placement (50%), and contribution (50%)).

The average L/U Value is 4.079 (Appendix B).

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
TREE INVENTORY

SCALE
NA

SHEET NUMBER

L-003

Discussion

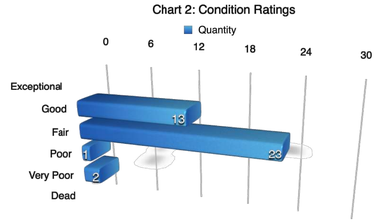
Condition Rating

A tree's condition is a determination of its overall health, structure, and form (ISA 2018). The assessment considered all three characteristics for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Most of the tree are in fair condition with thirteen good, one poor, two very poor, and the remaining twenty-three in fair shape.

Chart 2: Condition Ratings



Suitability for Preservation

A tree's suitability for preservation is determined based on its condition (health, structure, form), age, species, tolerance to disturbance, external and functional limitations, and potential longevity for the site using a scale of good, fair, or poor. The following list defines the rating scale (Fite, K, and Smiley, E. T., 2016):

- Good = Trees with good health, structural stability and longevity after construction.
- Fair = Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, before, during, and after construction, and may have shorter life expectancy after development.
- Poor = Trees are expected to decline during or after construction regardless of management. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

Most of the trees have fair suitability for preservation except for the tulip poplars. All the tulip poplars are poorly suited for retention due to pest problems and their condition. At least three olives are in raided planters with two at the corner of 4th and B and one just inside the property near the corner of 4th and N. Ellsworth. These trees have good suitability for retention or could successfully be relocated.

Expected Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

All the trees will be highly impacted and are proposed for removal.

Conclusion

There are no "Heritage Trees" as defined by the ordinance and all the trees are "Street Trees" except one olive. The trees are all located around the perimeter of the property on 4th, 5th, N. Ellsworth, and B streets. The inventory contains thirty-nine (39) trees comprised of four different species. There are five tulip poplar (*Liriodendron tulipifera*), eleven olives (*Olea eurpaea*), seventeen hackberry (*Celtis occidentalis*), and six Brisbane box (*Lophostemon confertus*). Most of the tree are in fair condition with thirteen good, one poor, two very poor, and the remaining twenty-three in fair shape and most have fair suitability for preservation except for the tulip poplars. All the trees are expected to be highly impacted and removed. The average L/U Value was calculated to be 4.079.

Recommendations

1. Obtain all necessary permits prior to removing or significantly altering any trees on the property

2. All tree maintenance, care, and removals shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.

Bibliography

American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.

Fite, Kelby, and Edgar Thomas. Smiley. *Managing trees during construction*, second edition. Champaign, IL: International Society of Arboriculture, 2016.

ISA. *Guide For Plant Appraisal*. Savoy, IL: International Society Of Arboriculture, 2000. Print.

ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA

Glossary of Terms

Defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

Diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Drip Line: Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

Mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

Scaffold branches: Permanent or structural branches that for the scaffold architecture or structure of a tree.

Straw wattle: also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

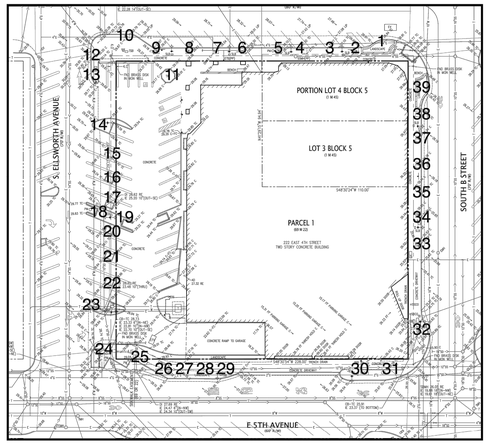
Tree Protection Zone (TPZ): Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

Trunk: Stem of a tree.

Volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.

Appendix A: Tree Inventory Locations



Appendix B: Tree Inventory Table

Table 2: Inventory Summary

Tree Species	#	Trunk Diameter (in.)	Condition	Expected Impact	Disposition	L/U Value
olive (*Olea eurpaea*)	1	4, 2, 2	Good	High	Container	2.4696
hackberry (*Celtis occidentalis*)	2	7	Fair	High	Street Tree	4.3218
hackberry (*Celtis occidentalis*)	3	9	Fair	High	Street Tree	5.5566
hackberry (*Celtis occidentalis*)	4	7	Fair	High	Street Tree	4.3218
hackberry (*Celtis occidentalis*)	5	6	Fair	High	Street Tree	3.7044
hackberry (*Celtis occidentalis*)	6	7	Fair	High	Street Tree	4.3218
hackberry (*Celtis occidentalis*)	7	5	Fair	High	Street Tree	3.087
hackberry (*Celtis occidentalis*)	8	8	Fair	High	Street Tree	4.9392
hackberry (*Celtis occidentalis*)	9	9	Fair	High	Street Tree	5.5566
hackberry (*Celtis occidentalis*)	10	11	Good	High	Street Tree	6.7914
olive (*Olea eurpaea*)	11	5, 4, 2, 2, 2, 2	Good	High	Container	3.087
olive (*Olea eurpaea*)	12	8, 7, 5, 4	Good	High	Street Tree	4.9392
olive (*Olea eurpaea*)	13	5, 5, 4, 4	Good	High	Street Tree	3.087
olive (*Olea eurpaea*)	14	5, 4, 3	Fair	High	Street Tree	3.087
tulip poplar (*Liriodendron tulipifera*)	15	7	Good	High	Street Tree	1.8522
hackberry (*Celtis occidentalis*)	16	1	Very Poor	High	Street Tree	0.6174

(\$67 7+
LANE PARTNERS

LANE PARTNERS

KSH

\$5&+,7(&76
.257+ 6816(5, +\$*(<

!.\$2%! #/#(2!.
,!.\$3#!0% !2#()4%#452%
4HIRD 3TREET Ú
3AN &RANCISCO #! ˜

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
TREE INVENTORY

SCALE
NA

SHEET NUMBER

L-004

Tree Species	#	Trunk Diameter (in.)	Condition	Expected Impact	Disposition	L/U Value
tulip poplar (*Liriodendron tulipifera*)	17	7	Very Poor	High	Street Tree	1.8522
olive (*Olea eurpaea*)	18	3, 2, 2, 2, 2, 2	Fair	High	Street Tree	1.8522
olive (*Olea eurpaea*)	19	5, 2, 2, 2, 1	Fair	High	Street Tree	3.087
tulip poplar (*Liriodendron tulipifera*)	20	5, 4	Fair	High	Street Tree	1.323
tulip poplar (*Liriodendron tulipifera*)	21	1	Poor	High	Street Tree	0.1134
tulip poplar (*Liriodendron tulipifera*)	22	7	Good	High	Street Tree	1.8522
olive (*Olea eurpaea*)	23	7, 6, 5, 4	Good	High	Street Tree	4.3218
olive (*Olea eurpaea*)	24	8, 7, 5, 3, 3	Good	High	Street Tree	4.9392
Brisbane box (*Lophostemon confertus*)	25	12	Fair	High	Street Tree	6.804
Brisbane box (*Lophostemon confertus*)	26	12	Good	High	Street Tree	9.5256
olive (*Olea eurpaea*)	27	5, 3, 3, 3, 3, 3	Good	High	Street Tree	3.087
Brisbane box (*Lophostemon confertus*)	28	13	Good	High	Street Tree	10.3194
Brisbane box (*Lophostemon confertus*)	29	14	Fair	High	Street Tree	7.938
Brisbane box (*Lophostemon confertus*)	30	14	Fair	High	Street Tree	7.938

Tree Species	#	Trunk Diameter (in.)	Condition	Expected Impact	Disposition	L/U Value
Brisbane box (*Lophostemon confertus*)	31	13	Fair	High	Street Tree	7.371
hackberry (*Celtis occidentalis*)	32	8	Fair	High	Street Tree	3.528
hackberry (*Celtis occidentalis*)	33	7	Fair	High	Street Tree	3.087
hackberry (*Celtis occidentalis*)	34	6	Fair	High	Street Tree	2.646
hackberry (*Celtis occidentalis*)	35	6	Fair	High	Street Tree	2.646
hackberry (*Celtis occidentalis*)	36	6	Fair	High	Street Tree	2.646
hackberry (*Celtis occidentalis*)	37	8	Fair	High	Street Tree	3.528
hackberry (*Celtis occidentalis*)	38	6	Fair	High	Street Tree	2.646
olive (*Olea eurpaea*)	39	7, 7, 6, 4, 2, 2	Good	High	Container	4.3218

Appendix C: Photographs
C1: 4th Street Hackberries

C2: N. Ellsworth Olives and Tulip Trees

C3: 5th Street Brisbane Box

C4: B Street Hackberries

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
TREE INVENTORY

SCALE
NA

SHEET NUMBER

L-005

Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist® and Tree Risk Assessor Qualified. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner

ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B

Copyright

© Copyright 2021, Monarch Consulting Arborists LLC. Other than specific exception granted for copies made by the client for the express uses stated in this report, no parts of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, recording, or otherwise without the express, written permission of the author.

Required Tree Planting

Zoning Code, Section 27.71 – Landscape, requires all projects to have a minimum ratio of **1 tree per 400 square feet** of landscaped area. Existing trees that are a minimum of 6 inch diameter may count toward this total.

Landscape Area: 6706.56 sq. ft. ÷ 400 = 16.77 (a)

Number of existing trees from Tree Evaluation Schedule with a 6 inch or greater diameter **to be preserved:** 0 (b)

Landscape Unit (LU) value of trees **to be removed** from the Tree Evaluation Schedule: 3.087 (c)

Minimum LU value to be replaced and/or met through payment of in-lieu fees: **[a – b + c = d]** 19.8957 (d)

New Trees:

A "landscape unit" (LU) value equivalent to (d) above, must either be planted on site, or an "in-lieu" fee paid to the city's street tree planting fund. If the LU value shown at (e) is not equal or greater than (d), then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted*

Quantity	Size	LU Value	Total LU Value
	15 gallon	1	
	24 inch box	2	
	36 inch box	3	
4	48 inch box	4	16
	Total LU Value of new trees being proposed:		16 (e)

*New replacement trees shall be in addition to and not substitute requirements for new street trees, parking lot trees or other required trees.

Fees Owed to the City Street Tree Planting Fund:

If (d) is greater than (e), there will be an LU value deficit calculated as follows:

[d – e = 3.86 **x (the annually defined $ per LU value as per Current Comprehensive Fee Schedule)** **= $** 1252.7

Tree Number	Species	Fate: Preserve / Remove	Species Value %	Condition Value %	Location Value %	Divided by 0.35	Caliper Size (in.)	.7 if in allowable bldg. area 1 if in setback	1.25 if Heritage Tree 1 if not	LU Value
1	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	4	0.7	1	2.4696
2	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	7	0.7	1	4.3218
3	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	9	0.7	1	5.5566
4	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	7	0.7	1	4.3218
5	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	6	0.7	1	3.7044
6	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	7	0.7	1	4.3218
7	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	5	0.7	1	3.087
8	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	8	0.7	1	4.9392
9	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	9	0.7	1	5.5566
10	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	11	0.7	1	6.7914
11	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	5	0.7	1	3.087
12	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	8	0.7	1	4.9392
13	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	5	0.7	1	3.087
14	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	5	0.7	1	3.087
15	tulip poplar (*Liriodendron tulipifera*)	Remove	0.3	0.7	0.63	0.38	7	0.7	1	1.8522
16	hackberry (*Celtis occidentalis*)	Remove	0.7	0.7	0.63	0.88	1	0.7	1	0.6174
17	tulip poplar (*Liriodendron tulipifera*)	Remove	0.3	0.7	0.63	0.38	7	0.7	1	1.8522
18	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	3	0.7	1	1.8522
19	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	5	0.7	1	3.087
20	tulip poplar (*Liriodendron tulipifera*)	Remove	0.3	0.7	0.63	0.38	5	0.7	1	1.323
21	tulip poplar (*Liriodendron tulipifera*)	Remove	0.3	0.3	0.63	0.16	1	0.7	1	0.1134
22	tulip poplar (*Liriodendron tulipifera*)	Remove	0.3	0.7	0.63	0.38	7	0.7	1	1.8522
23	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	7	0.7	1	4.3218
24	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	8	0.7	1	4.9392
25	Brisbane box (*Lophostemon confertus*)	Remove	0.9	0.5	0.63	0.81	12	0.7	1	6.804
26	Brisbane box (*Lophostemon confertus*)	Remove	0.9	0.7	0.63	1.13	12	0.7	1	9.5256
27	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	5	0.7	1	3.087
28	Brisbane box (*Lophostemon confertus*)	Remove	0.9	0.7	0.63	1.13	13	0.7	1	10.3194
29	Brisbane box (*Lophostemon confertus*)	Remove	0.9	0.5	0.63	0.81	14	0.7	1	7.938
30	Brisbane box (*Lophostemon confertus*)	Remove	0.9	0.5	0.63	0.81	14	0.7	1	7.938
31	Brisbane box (*Lophostemon confertus*)	Remove	0.9	0.5	0.63	0.81	13	0.7	1	7.371
32	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	8	0.7	1	3.528
33	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	7	0.7	1	3.087
34	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	6	0.7	1	2.646
35	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	6	0.7	1	2.646
36	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	6	0.7	1	2.646
37	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	8	0.7	1	3.528
38	hackberry (*Celtis occidentalis*)	Remove	0.7	0.5	0.63	0.63	6	0.7	1	2.646
39	olive (*Olea eurpaea*)	Remove	0.7	0.7	0.63	0.88	7	0.7	1	4.3218
TOTAL										159.1128

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
TREE INVENTORY

SCALE
NA

SHEET NUMBER

L-006

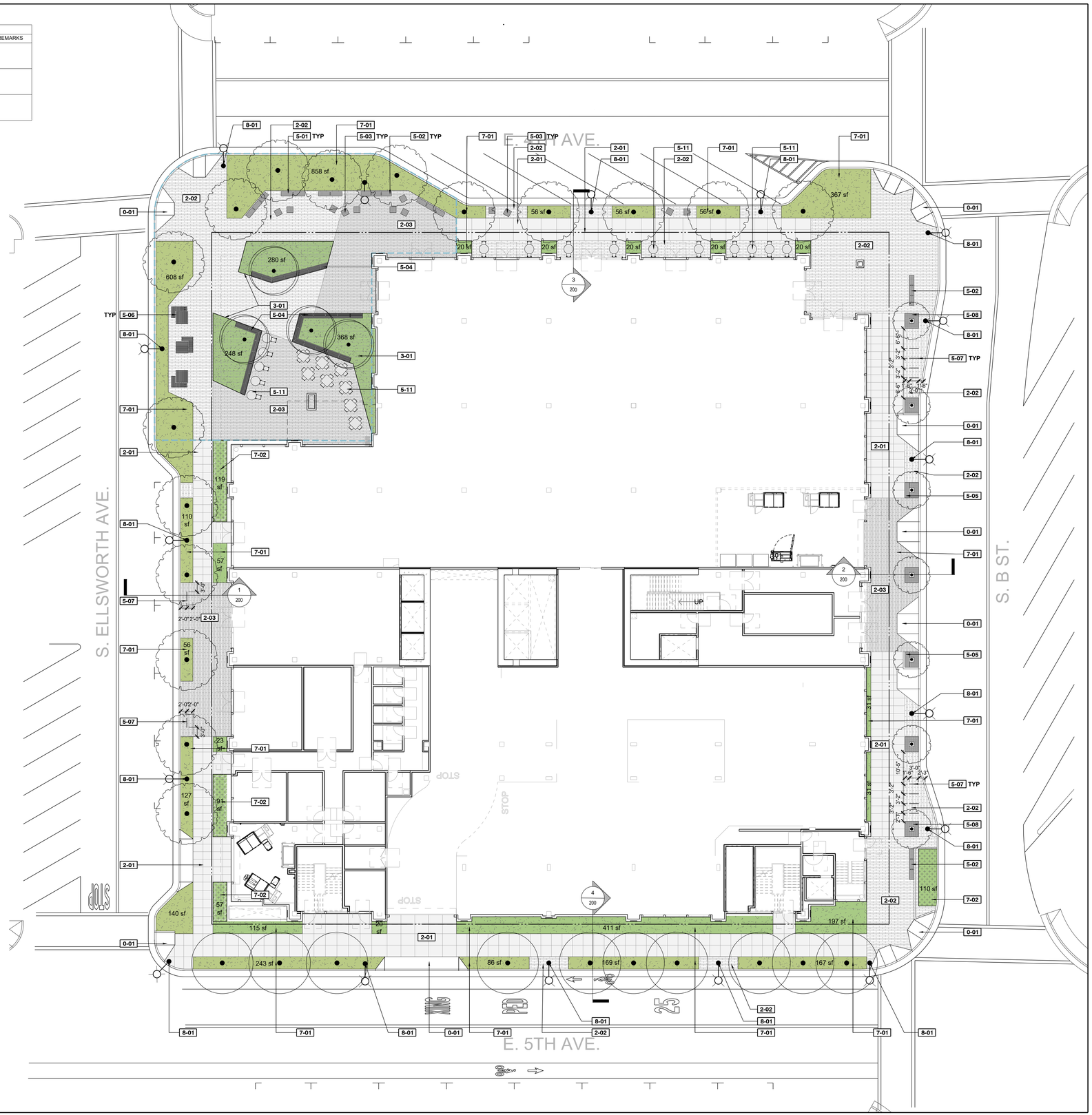
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT		QTY	REMARKS
	Os	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	---		4	
	Qh	QUERCUS HYPOLEUCOIDES	SILVERLEAF OAK	---		10	
	Qs	QUERCUS VIRGINIANA `SKY CLIMBER`	SKY CLIMBER SOUTHERN LIVE OAK	---		23	

REFERENCE NOTES SCHEDULE

	0 GENERAL		
SYMBOL	DESCRIPTION		
0-01	CURB CUT, S.C.D.		
	2 PAVING + EDGES		
SYMBOL	DESCRIPTION	NOTES	SOURCE
2-01	CONC. PAVING	C.I.P. INTEGRAL COLOR CONC. PAVING	
2-02	CONC. UNIT PAVING TYPE I	3"X12" PRECAST CONC. PAVERS - COLOR: PORCELAIN	STEPSTONE, INC
2-03	CONC. UNIT PAVING TYPE II	3"X12" PRECAST CONC. PAVERS - COLOR: FRENCH GREY	STEPSTONE, INC
	3 SITE WALLS AND STAIRS		
SYMBOL	DESCRIPTION	NOTES	SOURCE
3-01	RAISED METAL PLANTER	CUSTOM POWDERCOATED PLANTERS - COLOR: CHARCOAL	STREETLIFE, LLC
	5 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	NOTES	SOURCE
5-01	WOOD BENCH TYPE I	7' -8" WOOD BENCH WITH ARMREST, GALV. BASES	STREETLIFE, LLC
5-02	WOOD BENCH TYPE II	9' -10" WOOD BENCH WITH ARMRESTS, GALV. STEEL BASES	STREETLIFE, LLC
5-03	WOOD BENCH TYPE III	23"X23" WOOD CUBE BENCH, GALV. STEEL BASE	STREETLIFE, LLC
5-04	WOOD BENCH TYPE IV	CUSTOM WOOD BENCH WITH ARMRESTS AT RAISED METAL PLANTERS	STREETLIFE, LLC
5-05	WOOD BENCH TYPE V	WOOD BENCH AT TREE GRATE, STEEL BASES TO MATCH GRATES	STREETLIFE, LLC
5-06	WOOD DINING TABLE	WOOD TABLE AND BECH WITH ARMREST, GALV. STEEL BASES	STREETLIFE, LLC
5-07	BIKE RACK	WELLE CIRCULAR RACK - STAINLESS FINISH	PALMER GROUP, LLC
5-08	TREE GRATE	POWDERCOATED STEEL TREE GRATE	STREETLIFE, LLC
5-11	MOVABLE SITE FURNISHING	TBD FF&E BY OTHERS, SHOWN FOR REFERENCE	
	7 PLANTING		
SYMBOL	DESCRIPTION		
7-01	NATIVE OR ADAPTED PLANTING		
7-02	BIOTREATMENT PLANTING		
	8 SITE LIGHTING		
SYMBOL	DESCRIPTION	DESCRIPTION	
8-01	SITE LIGHTING	SEE LIGHTING DRAWINGS	

NOTES:
1. SEE L-205 FOR MATERIALS AND FURNISHINGS IMAGES
2. SEE L-300 FOR FURNISHING DETAILS



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

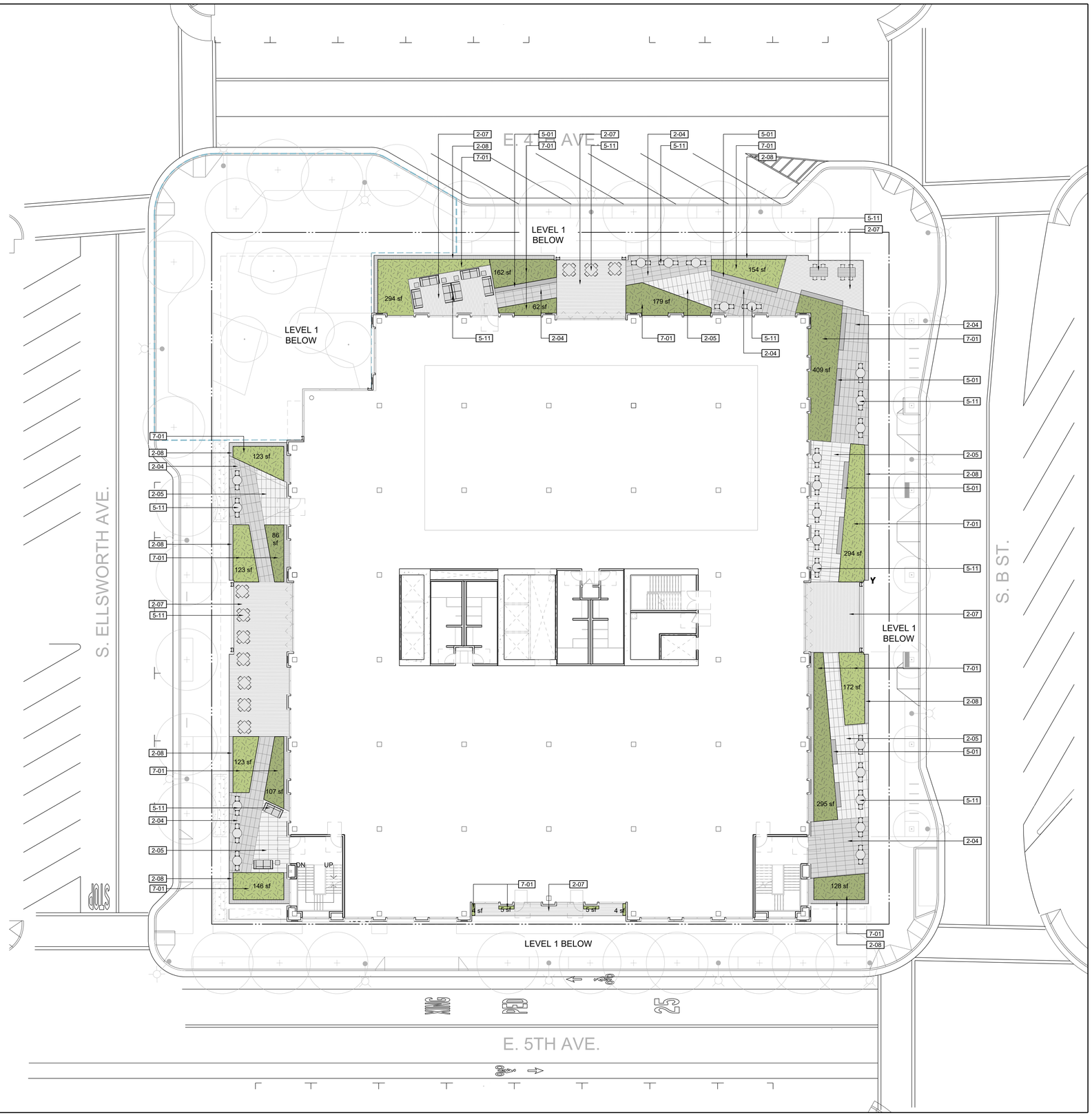
SHEET TITLE
LEVEL 1 LANDSCAPE PLAN

SCALE
1/16"=1'-0"

SHEET NUMBER

L-100

REFERENCE NOTES SCHEDULE			
	2 PAVING + EDGES		
SYMBOL	DESCRIPTION	NOTES	SOURCE
2-04	PEDESTAL PAVING TYPE I	18"X36" PRECAST CONC. PAVERS - COLOR: FRENCH GREY	STEPSTONE, INC.
2-05	PEDESTAL PAVING TYPE II	18"X36" PRECAST CONC. PAVERS - COLOR: PORCELAIN	STEPSTONE, INC.
2-07	PEDESTAL PAVING TYPE IV	24"X48" THERMALLY MODIFIED ASH DECKING TILES	THERMORY
2-08	ACCESS GRATING	STAINLESS STEEL PRESSED GRATING	
	5 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	NOTES	SOURCE
5-01	WOOD BENCH TYPE I	7'-8" WOOD BENCH WITH ARMREST, GALV. BASES	STREETLIFE, LLC
5-11	MOVABLE SITE FURNISHING	TBD FF&E BY OTHERS, SHOWN FOR REFERENCE	
	7 PLANTING		
SYMBOL	DESCRIPTION		
7-01	NATIVE OR ADAPTED PLANTING		



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

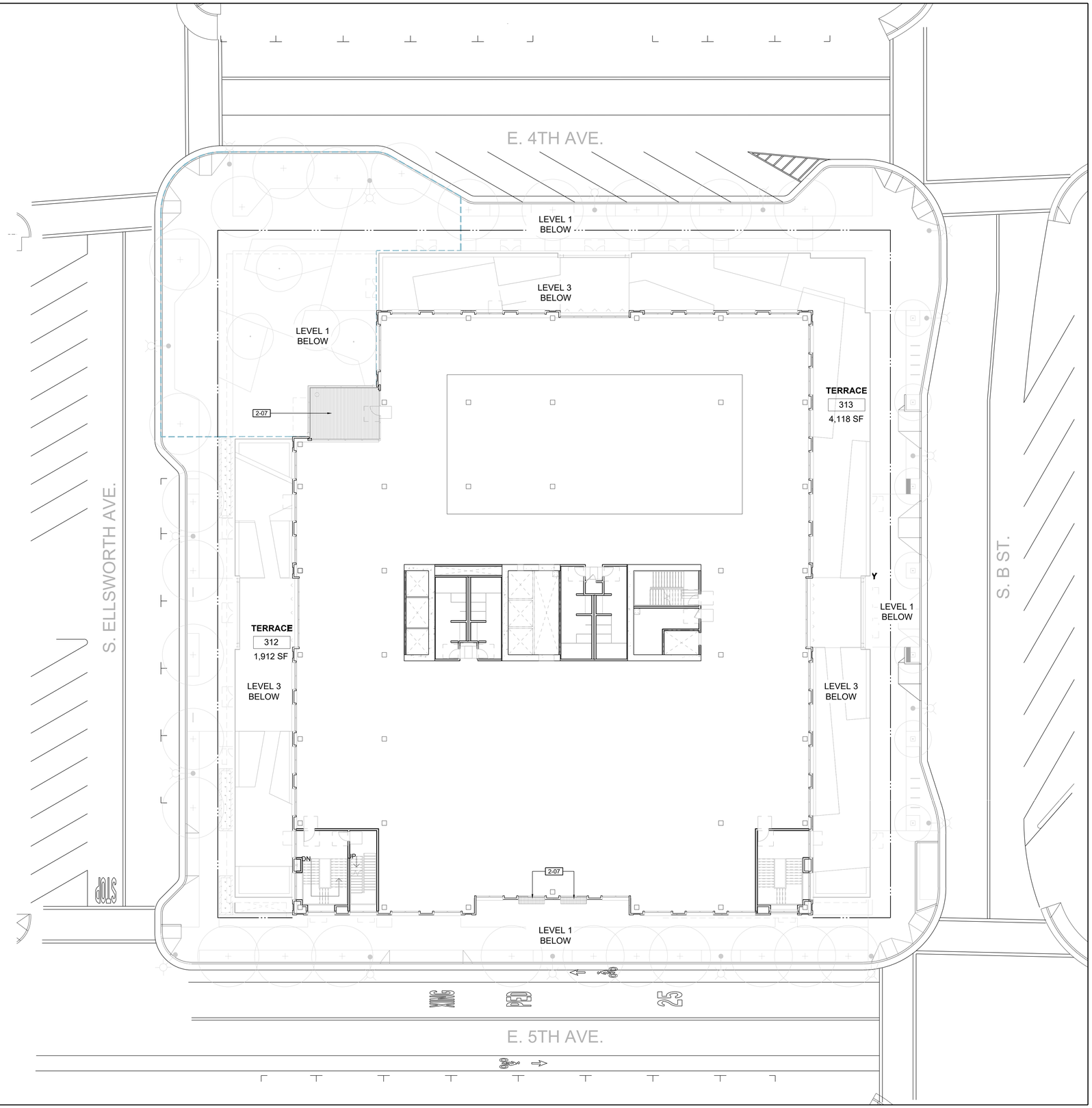
SHEET TITLE
LEVEL 3 LANDSCAPE PLAN

SCALE
1/16"=1'-0"

SHEET NUMBER

L-101

REFERENCE NOTES SCHEDULE			
	2 PAVING + EDGES		
SYMBOL	DESCRIPTION	NOTES	SOURCE
2-07	PEDESTAL PAVING TYPE IV	24"X48" THERMALLY MODIFIED ASH DECKING TILES	THERMORY



222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LEVEL 4 LANDSCAPE PLAN

SCALE
1/16"=1'-0"

SHEET NUMBER

L-102

REFERENCE NOTES SCHEDULE			
	2 PAVING + EDGES		
SYMBOL	DESCRIPTION	NOTES	SOURCE
2-04	PEDESTAL PAVING TYPE I	18"X36" PRECAST CONC. PAVERS - COLOR: FRENCH GREY	STEPSTONE, INC.
2-05	PEDESTAL PAVING TYPE II	18"X36" PRECAST CONC. PAVERS - COLOR: PORCELAIN	STEPSTONE, INC.
2-06	PEDESTAL PAVING TYPE III	30"X30" PRECAST CONC. PAVERS - COLOR: PORCELAIN	STEPSTONE, INC.
2-07	PEDESTAL PAVING TYPE IV	24"X48" THERMALLY MODIFIED ASH DECKING TILES	THERMORY
2-08	ACCESS GRATING	STAINLESS STEEL PRESSED GRATING	
	3 SITE WALLS AND STAIRS		
SYMBOL	DESCRIPTION	NOTES	SOURCE
3-01	RAISED METAL PLANTER	CUSTOM POWDERCOATED PLANTERS - COLOR: CHARCOAL	STREETLIFE, LLC
	5 SITE FURNISHINGS		
SYMBOL	DESCRIPTION	NOTES	SOURCE
5-01	WOOD BENCH TYPE I	7'-8" WOOD BENCH WITH ARMREST, GALV. BASES	STREETLIFE, LLC
5-09	BBQ	CUSTOM BBQ AREA	
5-10	SCREEN	SEE ARCH DRAWINGS	
5-11	MOVABLE SITE FURNISHING	TBD FF&E BY OTHERS, SHOWN FOR REFERENCE	

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

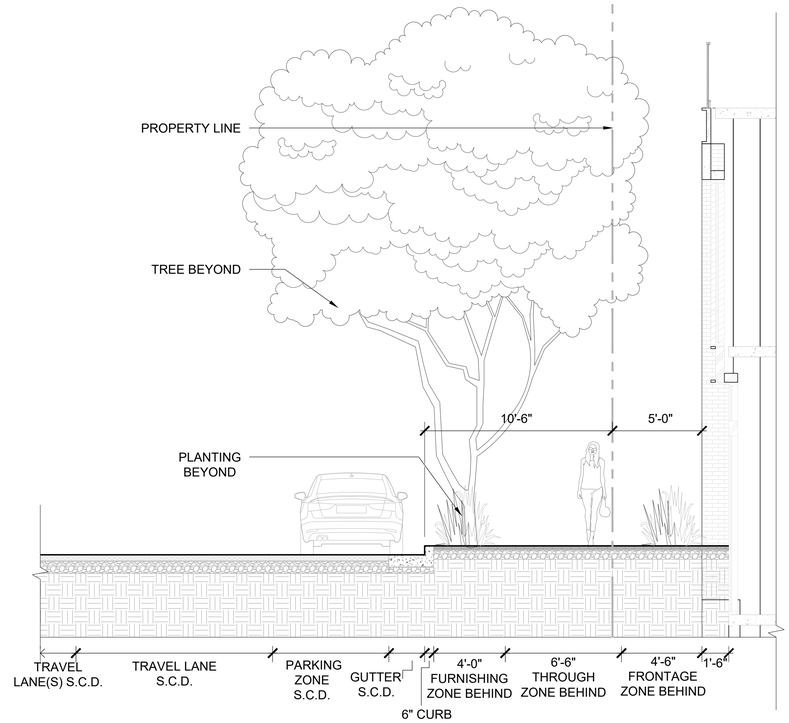
PROJECT NUMBER
16010.00

SHEET TITLE
ROOF LANDSCAPE PLAN

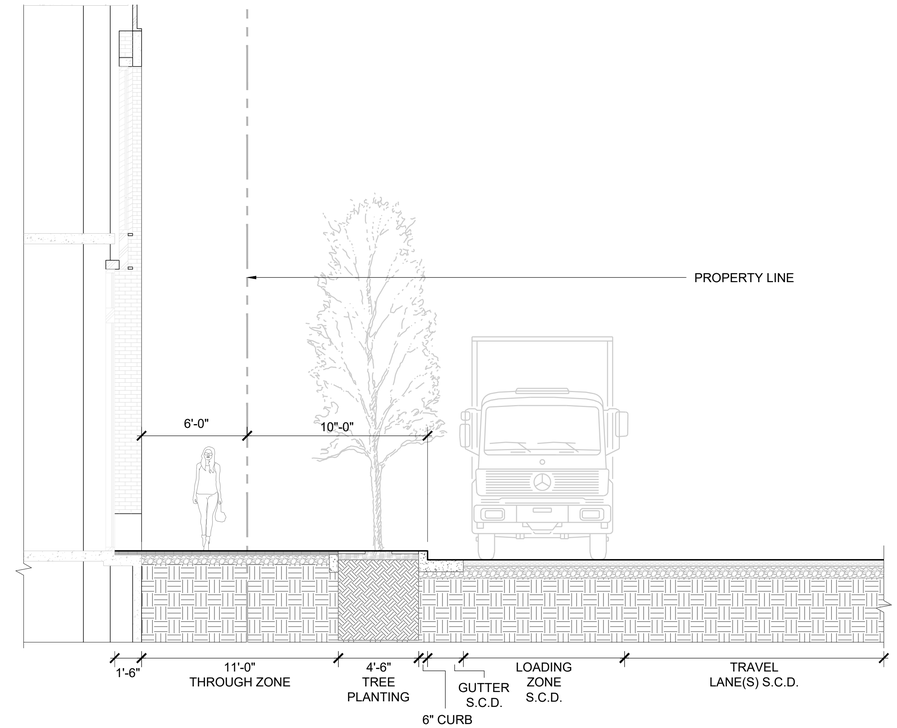
SCALE
1/16"=1'-0"

SHEET NUMBER

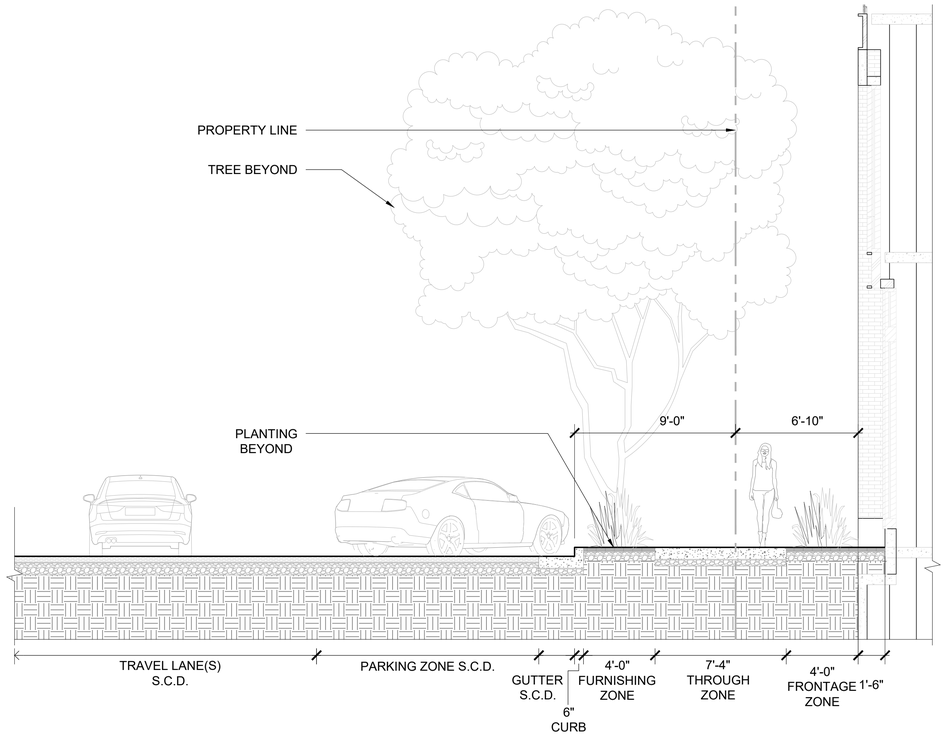
L-103



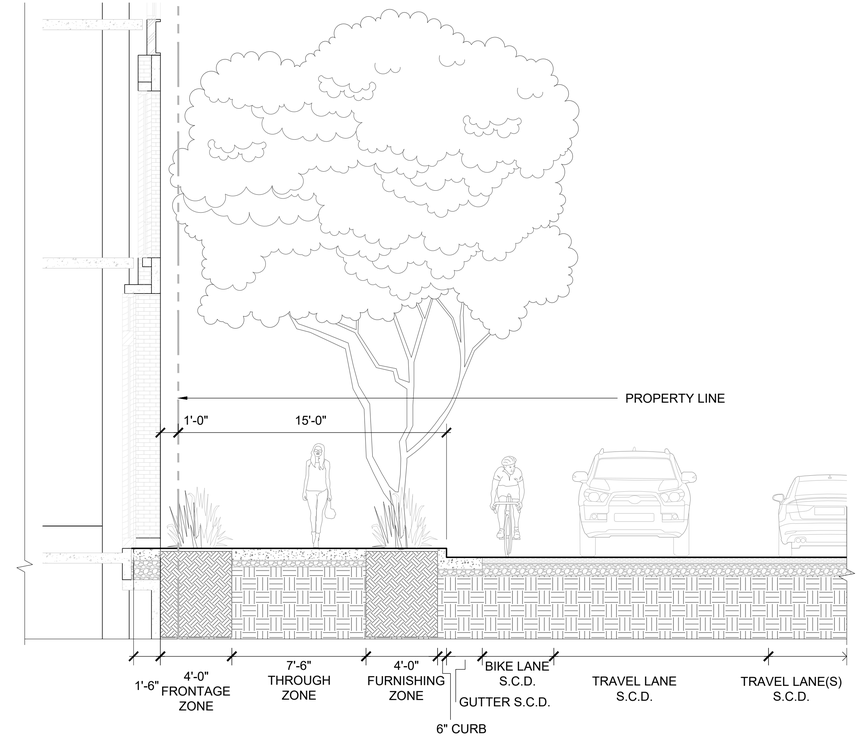
1 ELLSWORTH AVENUE — 1/4" = 1'-0
SCALE: TYPICAL SECTION



2 B-STREET — 1/4" = 1'-0
SCALE: TYPICAL SECTION



3 E 4TH AVENUE — 1/4" = 1'-0
SCALE: 0 1' 2' 4' 8' TYPICAL SECTION



4 E 5TH AVENUE — 1/4" = 1'-0
SCALE: 0 1' 2' 4' 8' TYPICAL SECTION

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
STREETSCAPE SECTIONS

SCALE
AS NOTED

SHEET NUMBER

L-200

4TH & ELLSWORTH AERIAL

CONCEPTUAL LANDSCAPE SHOWN AT ROOFTOP TERRACES

PARKLET FROM 4TH & ELLSWORTH

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH
ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LANDSCAPE RENDERINGS

SCALE
N.A.

SHEET NUMBER

L-201

AERIAL OF PARKLET AT 4TH & ELLSWORTH

CONCEPTUAL LANDSCAPE SHOWN AT ROOFTOP TERRACES

PARKLET AT 4TH AND ELLSWORTH FROM ELLSWORTH

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH
ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LANDSCAPE RENDERINGS

SCALE
N.A.

SHEET NUMBER

L-202

ELLSWORTH STREETSCAPE AND BUILDING ENTRY

STREETSCAPE AND ENTRY AT 4TH & B STREET

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
LANDSCAPE RENDERINGS

SCALE
N.A.

SHEET NUMBER

L-203

4TH AVE & B STREET AERIAL

B STREET STREETSCAPE & 5TH AVE

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH
ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal

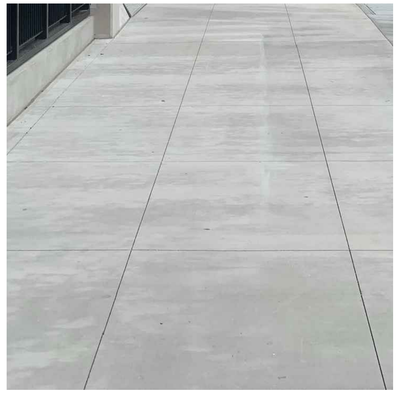
PROJECT NUMBER
16010.00

SHEET TITLE
LANDSCAPE RENDERINGS

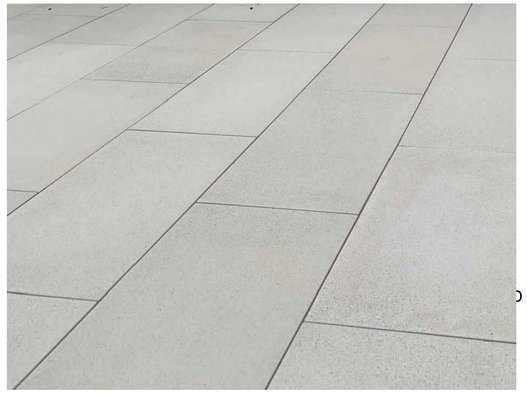
SCALE
N.A.

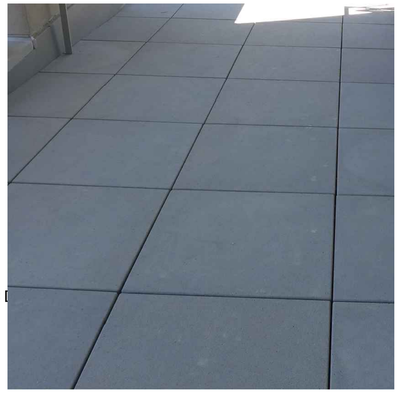
SHEET NUMBER

L-204

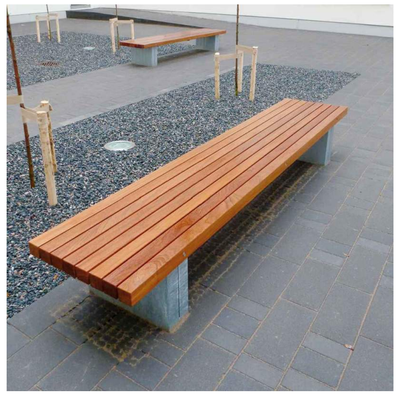

CONCRETE PAVING

UNIT PAVING TYPE I & II

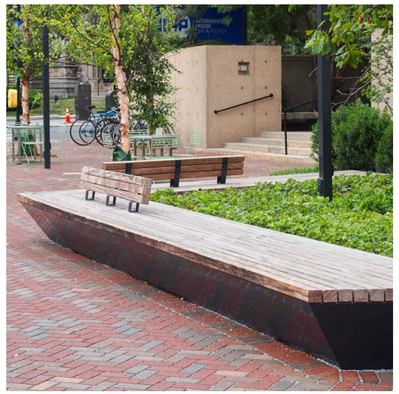

PEDESTAL PAVING TYPE I & II


PEDESTAL PAVING TYPE III

PRECAST PAVER COLORS

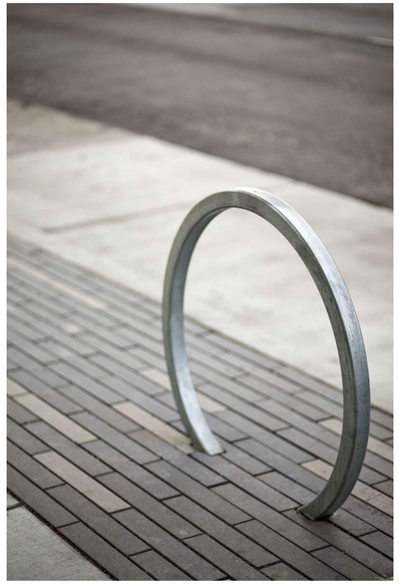

BENCH TYPE I & II

BENCH TYPE III


RAISED METAL PLANTER & BENCH TYPE IV

WOOD DINING TABLE

BENCH TYPE V


BIKE RACK AT UNIT PAVING

PEDESTAL PAVING TYPE IV

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal

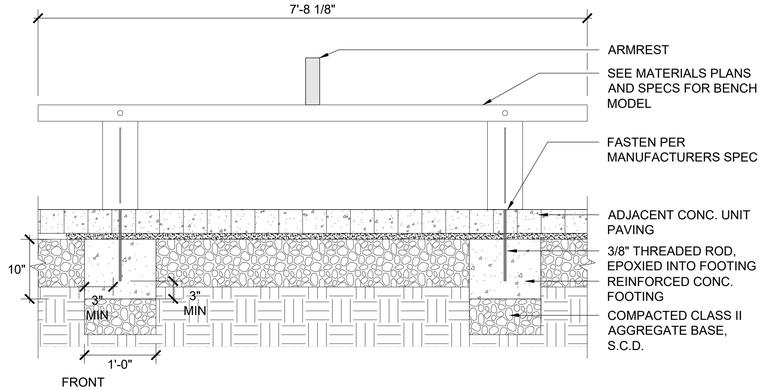
PROJECT NUMBER
16010.00

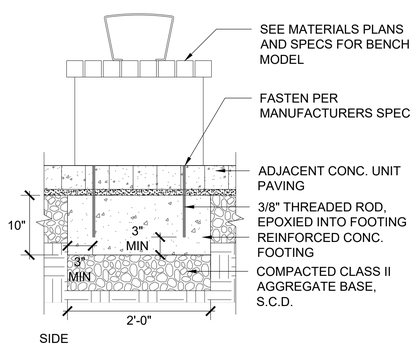
SHEET TITLE
LANDSCAPE MATERIALS AND FURNISHING IMAGERY

SCALE
N.A.

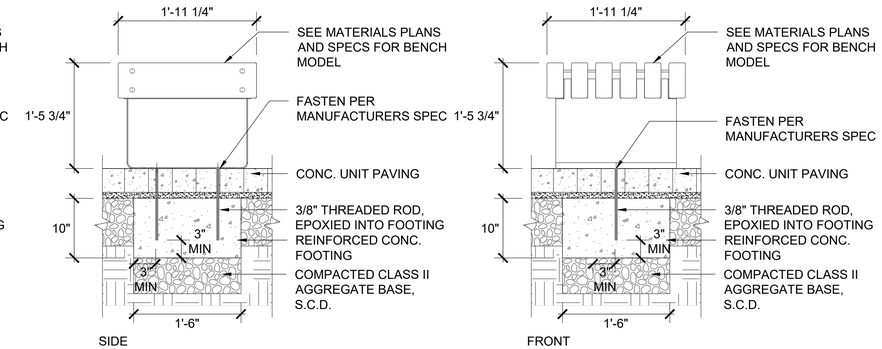
SHEET NUMBER

L-205

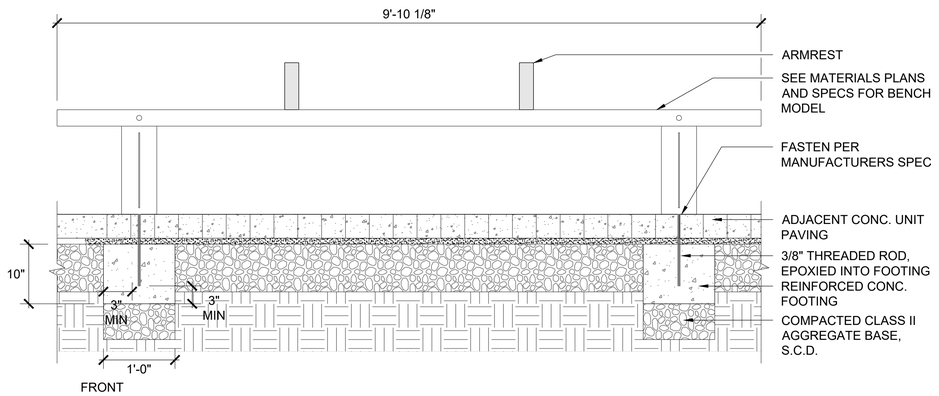




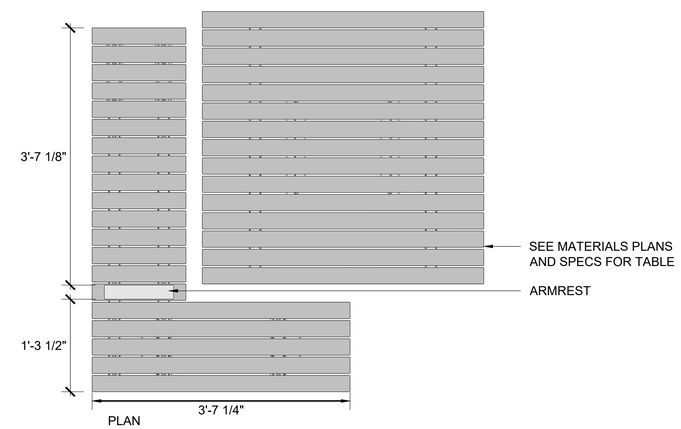
1 WOOD BENCH TYPE I — 1"=1'-0"
SCALE: 0 1' 2' 3' — TYPICAL SECTION

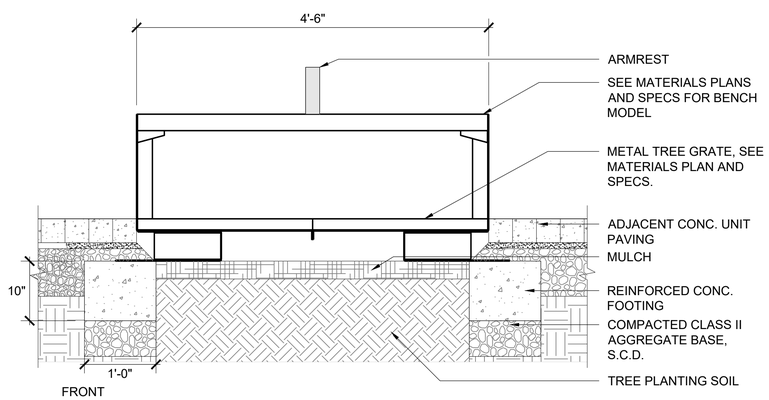


2 WOOD BENCH TYPE III — 1"=1'-0"
SCALE: 0 1' 2' 3' — TYPICAL SECTION

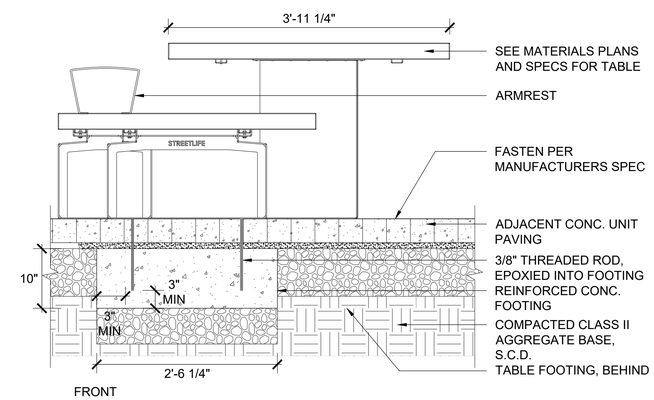


3 WOOD BENCH TYPE II — 1"=1'-0"
SCALE: 0 1' 2' 3' — TYPICAL SECTION





4 WOOD BENCH TYPE V — 1"=1'-0"
SCALE: 0 1' 2' 3' — TYPICAL SECTION



5 PICNIC TABLE AND BENCH — 1"=1'-0"
SCALE: 0 1' 2' 3' — TYPICAL SECTION

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ANDREA COCHRAN
LANDSCAPE ARCHITECTURE
2325 Third Street #210
San Francisco CA 94107
415.503.0060

ISSUES AND REVISIONS

No.	Date	Description
A	05/05/20	Pre-Application Set
B	10/21/20	Pre-Application Resubmittal
C	03/19/21	Pre-Application Resubmittal
D	10/15/21	Pre-Application Resubmittal
E	02/04/22	Pre-Application Resubmittal
F	04/22/22	Pre-Application Resubmittal
G	06/15/22	Pre-Application Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
SITE FURNISHING DETAILS

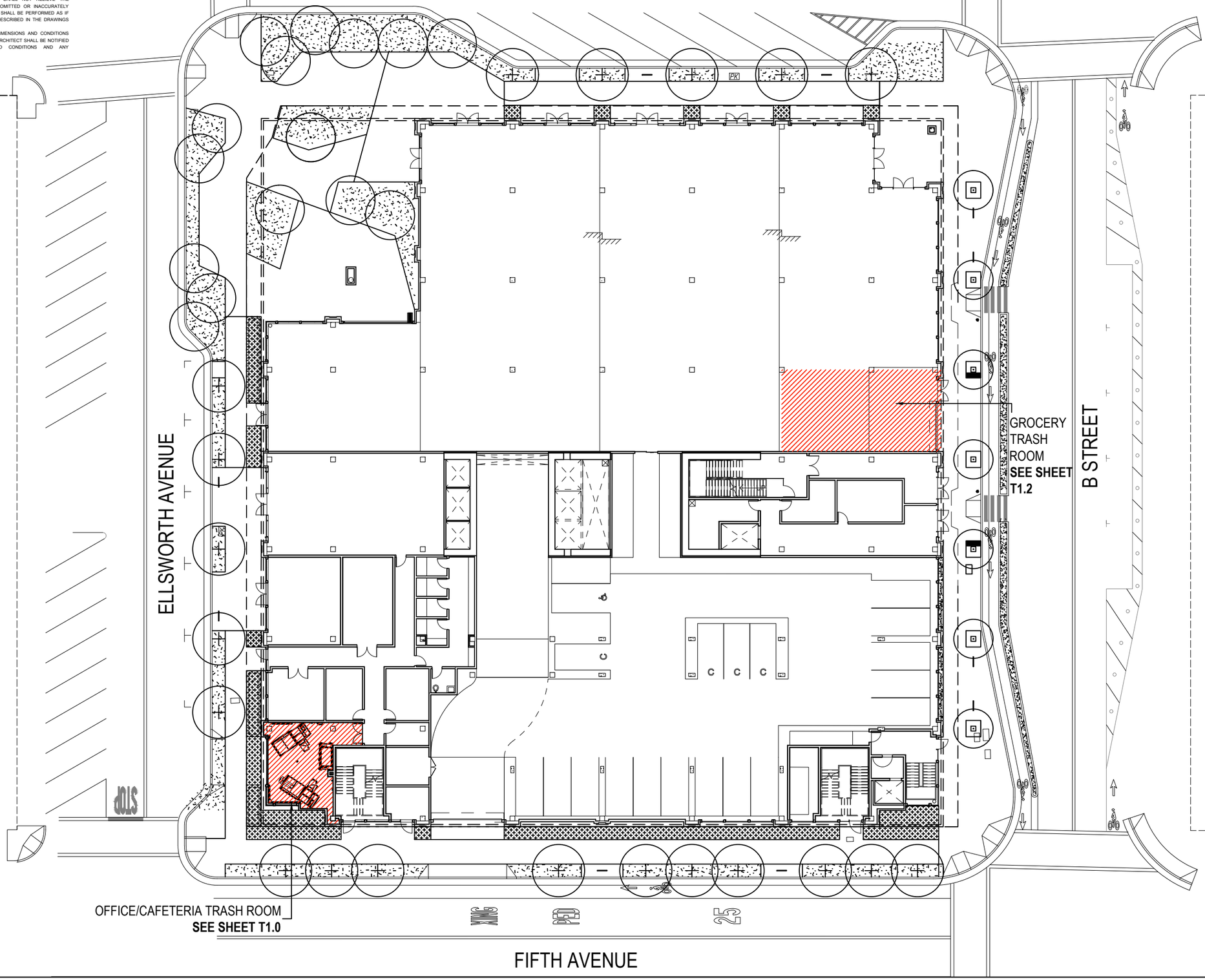
SCALE
AS NOTED

SHEET NUMBER

L-300

GENERAL NOTES:

1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.



AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM
CONSULTANT

KSH
ARCHITECT

LANE PARTNERS
OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

KSH-222 E 4th-San Mateo
PROJECT

SITE PLAN
LEVEL 1
DRAWING TITLE

PROJECT NO.	
DRAWN	PH
APPROVED	SB
DATE	06/03/2022
SCALE	1/30" = 1'-0"

DRAWING NO.
T0.1

GENERAL NOTES:

1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

AMERICAN TRASH MANAGEMENT

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

CONSULTANT

KSH

ARCHITECT

LANE PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

KSH-222 E 4th-San Mateo

PROJECT

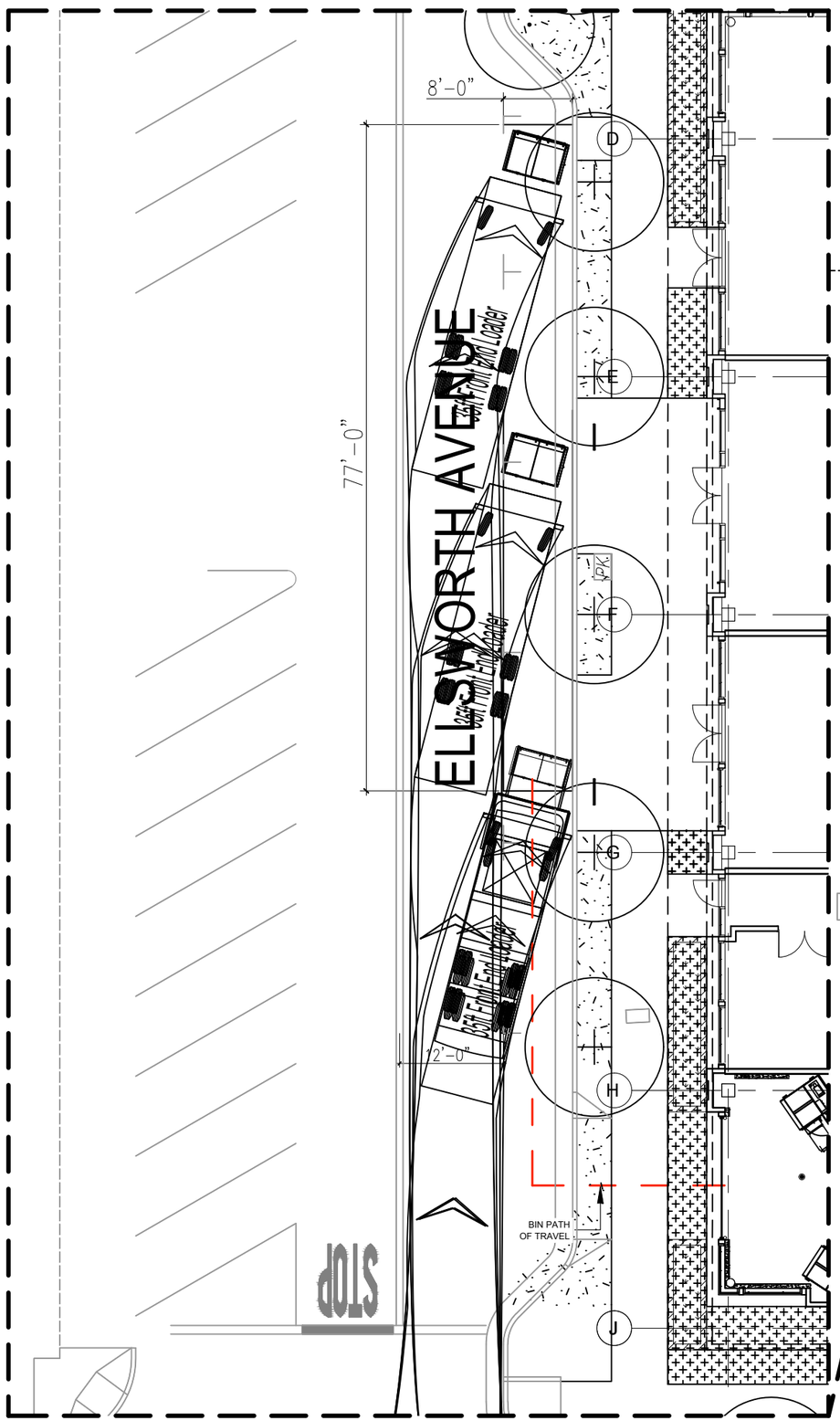
KEY PLAN
TYPICAL UPPER LEVEL

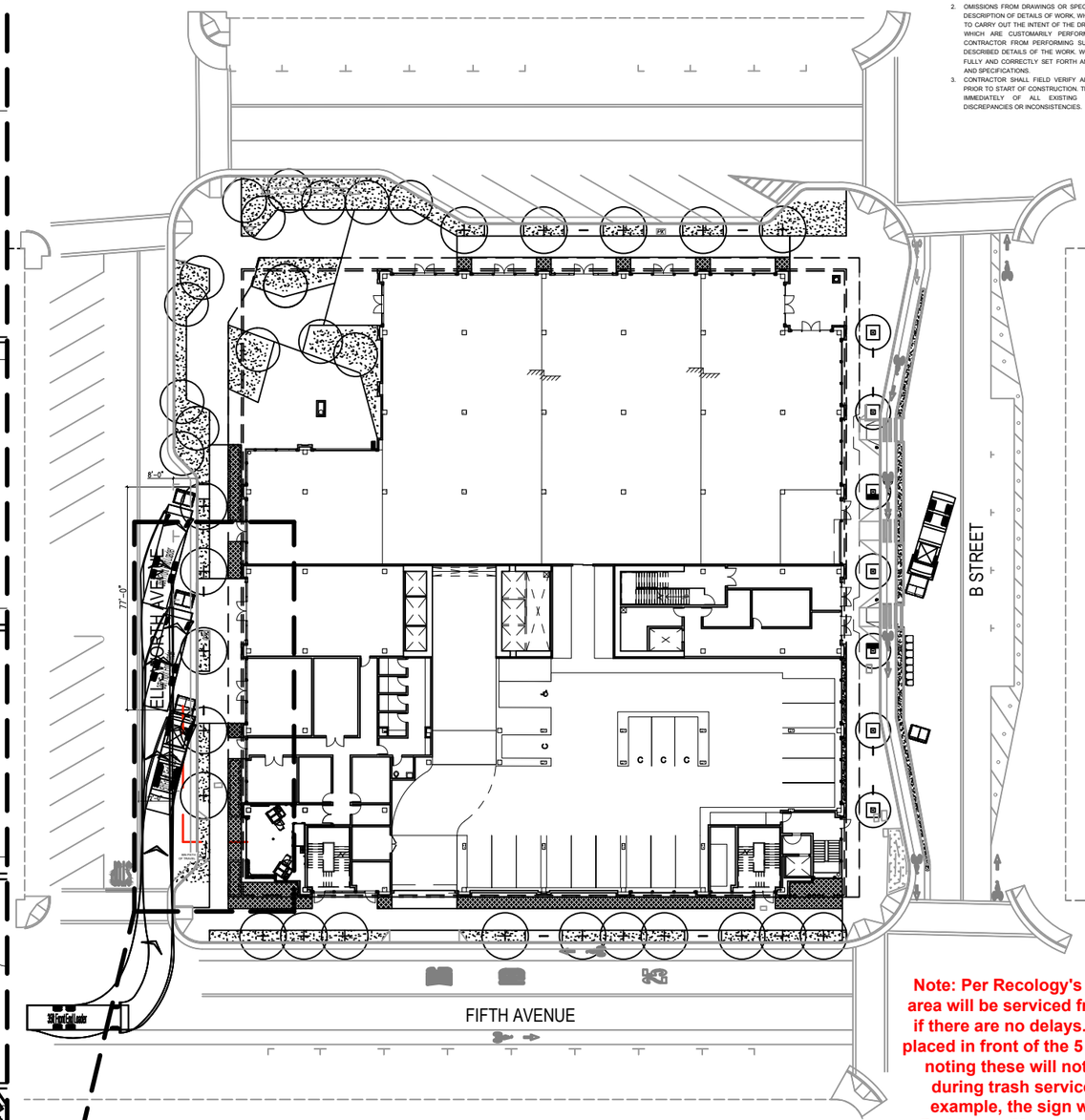
DRAWING TITLE

PROJECT NO.	
DRAWN	PH
APPROVED	SB
DATE	06/03/2022
SCALE	1/20" = 1'-0"

DRAWING NO.

T0.2





OFFICE/CAFETERIA STAGING

PROJECTED OFFICE/CAFETERIA COLLECTION SCHEDULE/WK		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	1 x 4CY FL COMPACTOR CONTAINER	2x/wk
RECYCLING	1 x 4CY FL COMPACTOR CONTAINER	3x/wk
COMPOST	1 X 2CY FL COMPACTOR CONTAINER	2x/wk

Note: Per Recology's feedback, this area will be serviced from 3am-12pm, if there are no delays. A sign will be placed in front of the 5 parking spaces noting these will not be available during trash service hours. For example, the sign will state "No Parking on Mondays-Fridays from 10pm-12pm. Garbage Pick-Up Zone". Once these bins are picked up by Recology, building staff will immediately bring back the containers to free up these parking spaces for public use.

GENERAL NOTES:

1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

CONSULTANT

KSH

ARCHITECT

LANE PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

KSH-222 E 4th-San Mateo

PROJECT

STAGING DETAILS
OFFICE & CAFETERIA

DRAWING TITLE

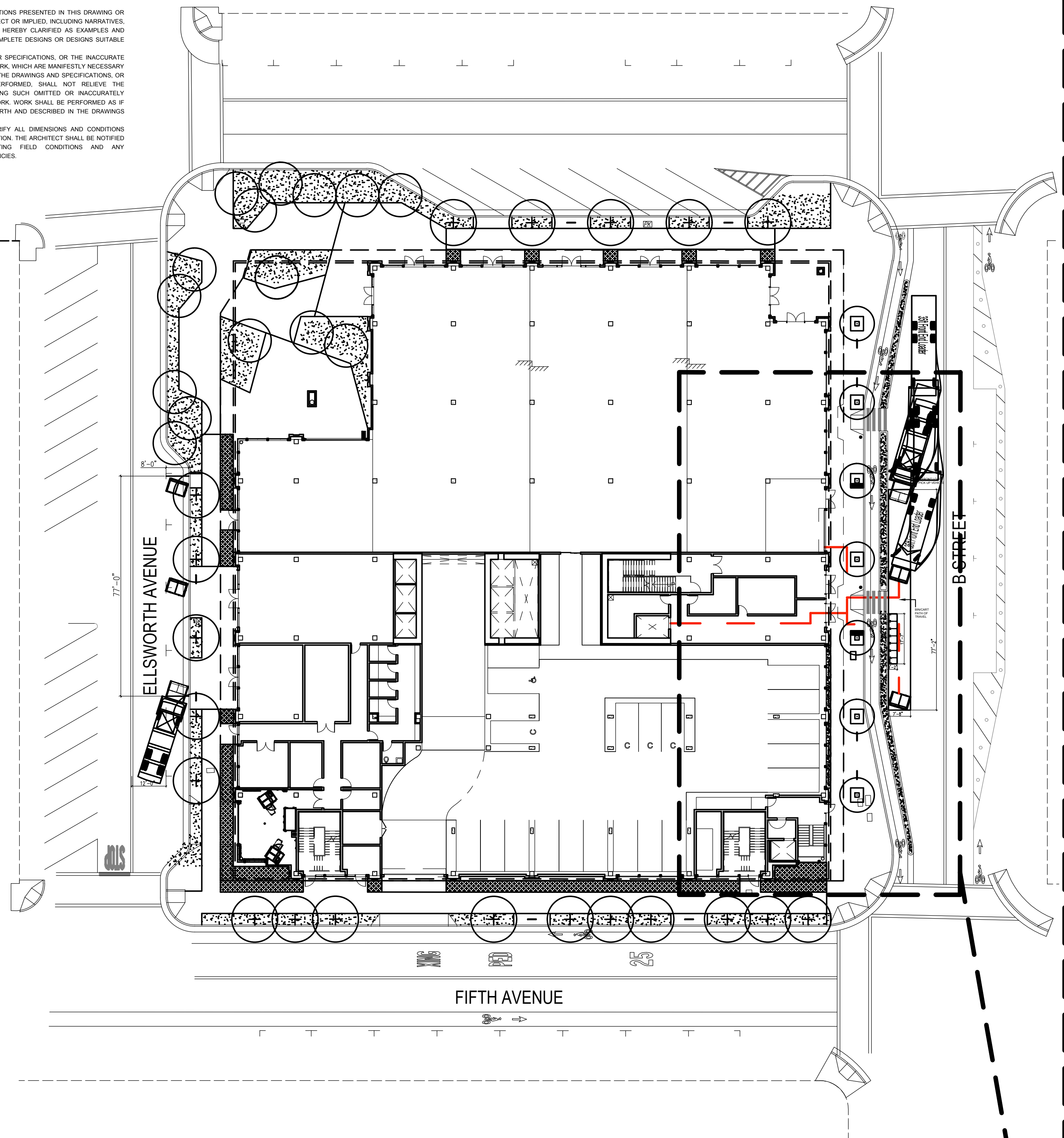
PROJECT NO.	
DRAWN	PH
APPROVED	SB
DATE	06/03/2022
SCALE	1/50" = 1'-0"

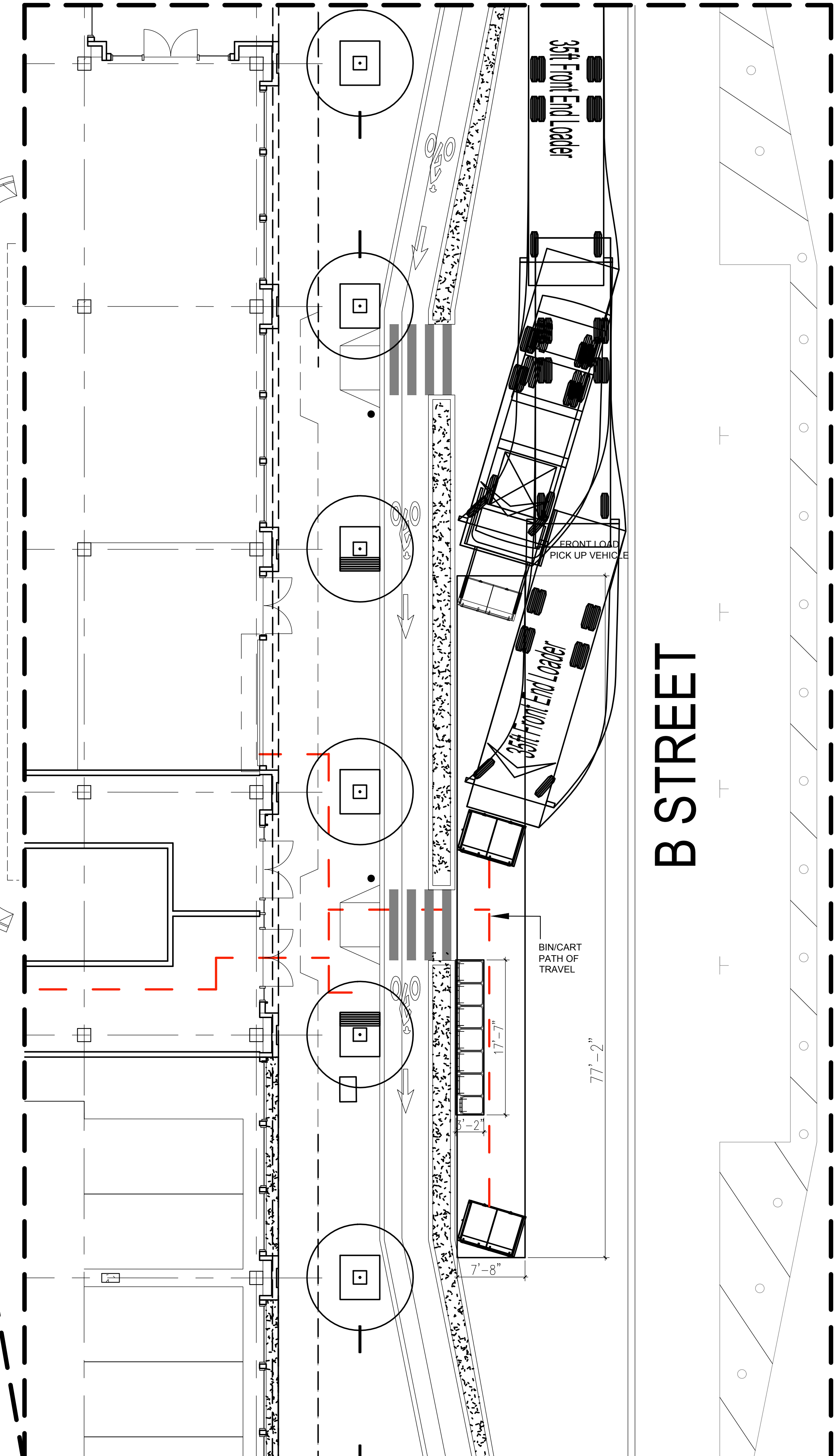
DRAWING NO. T0.3

1/16" = 1'-0"

GENERAL NOTES:

1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.





1/16" = 1'-0"

RESIDENTIAL & GROCERY STAGING

PROJECTED RESIDENTIAL COLLECTION SCHEDULE/WK		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	3 x 96G LOOSE TOTER CARTS	1x/wk
RECYCLING	3 x 96G LOOSE TOTER CARTS	1x/wk
COMPOST	1 X 64G LOOSE TOTER CARTS	1x/wk

PROJECTED GROCERY COLLECTION SCHEDULE/WK		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	1 x 4CY FL COMPACTOR CONTAINER	3x/wk
RECYCLING	1 x 4CY FL COMPACTOR CONTAINER	3x/wk
COMPOST	1 X 2CY FL COMPACTOR CONTAINER	2x/wk

AMERICAN TRASH MANAGEMENT

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

CONSULTANT

KSH

ARCHITECT

LANE PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

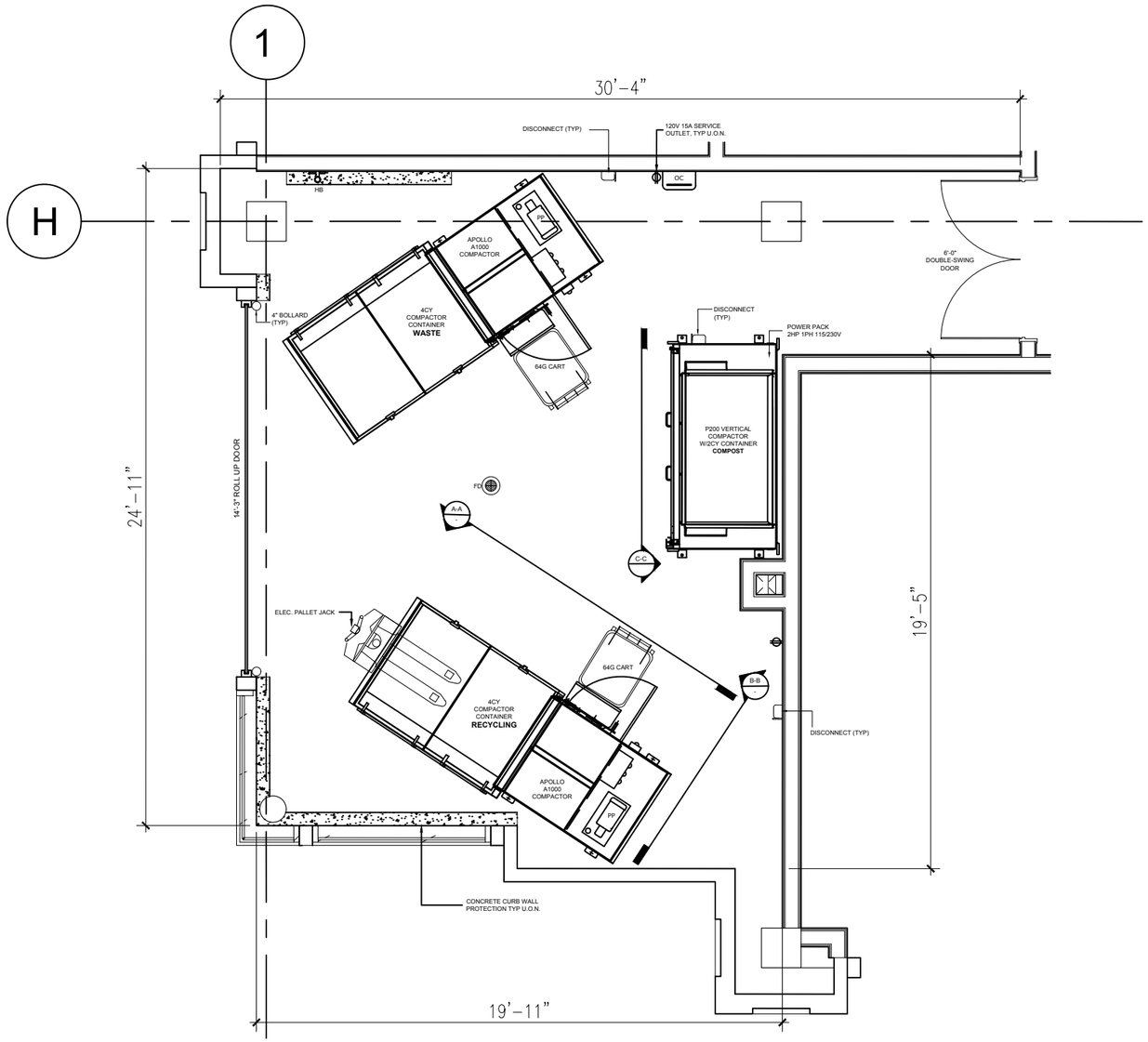
KSH-222 E 4th-San Mateo

PROJECT

STAGING DETAILS
RESIDENTIAL & GROCERY

DRAWING TITLE

PROJECT NO.	DRAWING NO.
DRAWN: PH	T0.4
APPROVED: SB	
DATE: 06/03/2022	
SCALE: 1/50" = 1'-0"	



OFFICE/CAFETERIA TRASH ROOM PLAN

LEVEL 1

SHEET NOTES:

COMMERCIAL TRASH COLLECTION ROOM - LEVEL 1

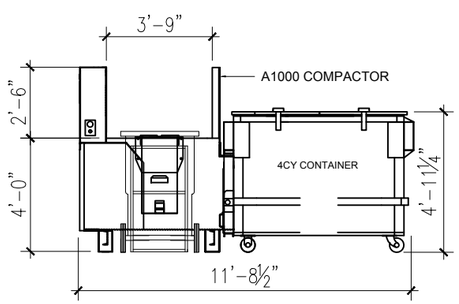
1. CENTRAL TRASH COLLECTION AREA IS 1HR FIRE-RATED - RESTRICTED ACCESS.
2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE (1° MAX) AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
5. 14'-3" ROLL-UP DOOR, 6'-0" DOUBLE-SWING DOOR, AND 3'-0" EXIT DOOR.
6. (2) A1000 SELF CONTAINED COMPACTORS FOR WASTEAND RECYCLING. PROVIDE 4CY COMPACTOR CONTAINERS.
7. (1) P200 COMPACTOR WITH INTERNAL P0WER PACK AND 2CY BIN FOR COMPOST. 2HP, 115/230V, 1 PHASE SERVICE REQUIRED. DISCONNECT MOUNTED 60" AFF.
8. PP: COMPACTOR POWER PACKS AND LIFT POWER PACKS SHALL BE STACKED & FLOOR-MOUNTED. SEE DETAIL FOR HP PER POWER PACK. EACH PACK IS 3-PHASE, 208/230/460V. EACH PP NEEDS 30A DISCONNECT, 60" AFF.
9. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLET.
10. HB: HOT AND COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
15. (1) UNDEDICATED 120V 15A SERVICE OUTLET REQUIRED FOR STAFF MAINTENANCE PURPOSE.

GENERAL NOTES:

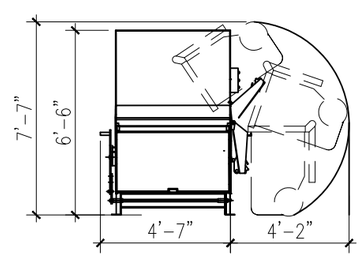
1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

PROJECTED OFFICE/CAFETERIA COLLECTION SCHEDULE/WK

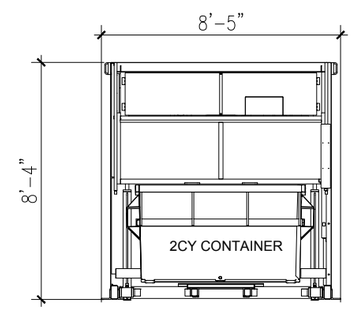
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	1 x 4CY FL COMPACTOR CONTAINER	2x/wk
RECYCLING	1 x 4CY FL COMPACTOR CONTAINER	3x/wk
COMPOST	1 X 2CY FL COMPACTOR CONTAINER	2x/wk



APOLLO A 1000 COMPACTOR
W/ 64 GAL CART AND
BAYNE TASKMASTER HI-LIFT DUMPER



APOLLO A 1000 COMPACTOR
W/ 64 GAL CART AND
BAYNE TASKMASTER HI-LIFT DUMPER



P200 COMPACTOR
W/ 2CY CONTAINER

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM
CONSULTANT

KSH
ARCHITECT

LANE PARTNERS
OWNER / DEVELOPER

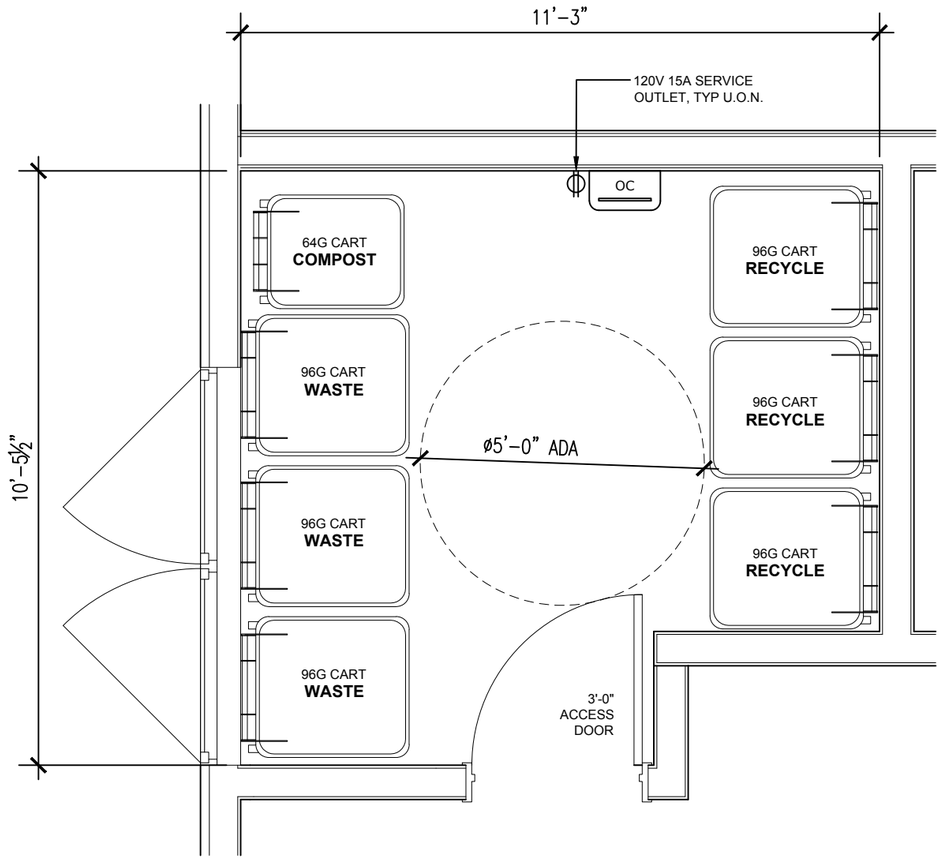
NO.	DATE	ISSUE / REVISION	ISSUED BY

KSH-222 E 4th-San Mateo
PROJECT

Office/Cafeteria Trash Collection Room Layout
DRAWING TITLE

PROJECT NO.
DRAWN: PH
APPROVED: SB
DATE: 06/03/2022
SCALE: 3/16" = 1'-0"
DRAWING NO. T1.0

3



G

RESIDENTIAL TRASH CLOSET PLAN

LEVEL 5

SHEET NOTES:

RESIDENTIAL TRASH CLOSET - LEVEL 1:

1. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING.
2. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH GLOSS ENAMEL PAINT, 8'-0" AFF.
3. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLET.
4. PROVIDE 3' ACCESS DOOR.

GENERAL NOTES:

1. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
2. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

PROJECTED RESIDENTIAL COLLECTION SCHEDULE/WK

SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	3 x 96G LOOSE TOTER CARTS	1x/wk
RECYCLING	3 x 96G LOOSE TOTER CARTS	1x/wk
COMPOST	1 X 64G LOOSE TOTER CARTS	1x/wk

AMERICAN TRASH MANAGEMENT

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

CONSULTANT

KSH

ARCHITECT

LANE PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

KSH-222 E 4th-San Mateo

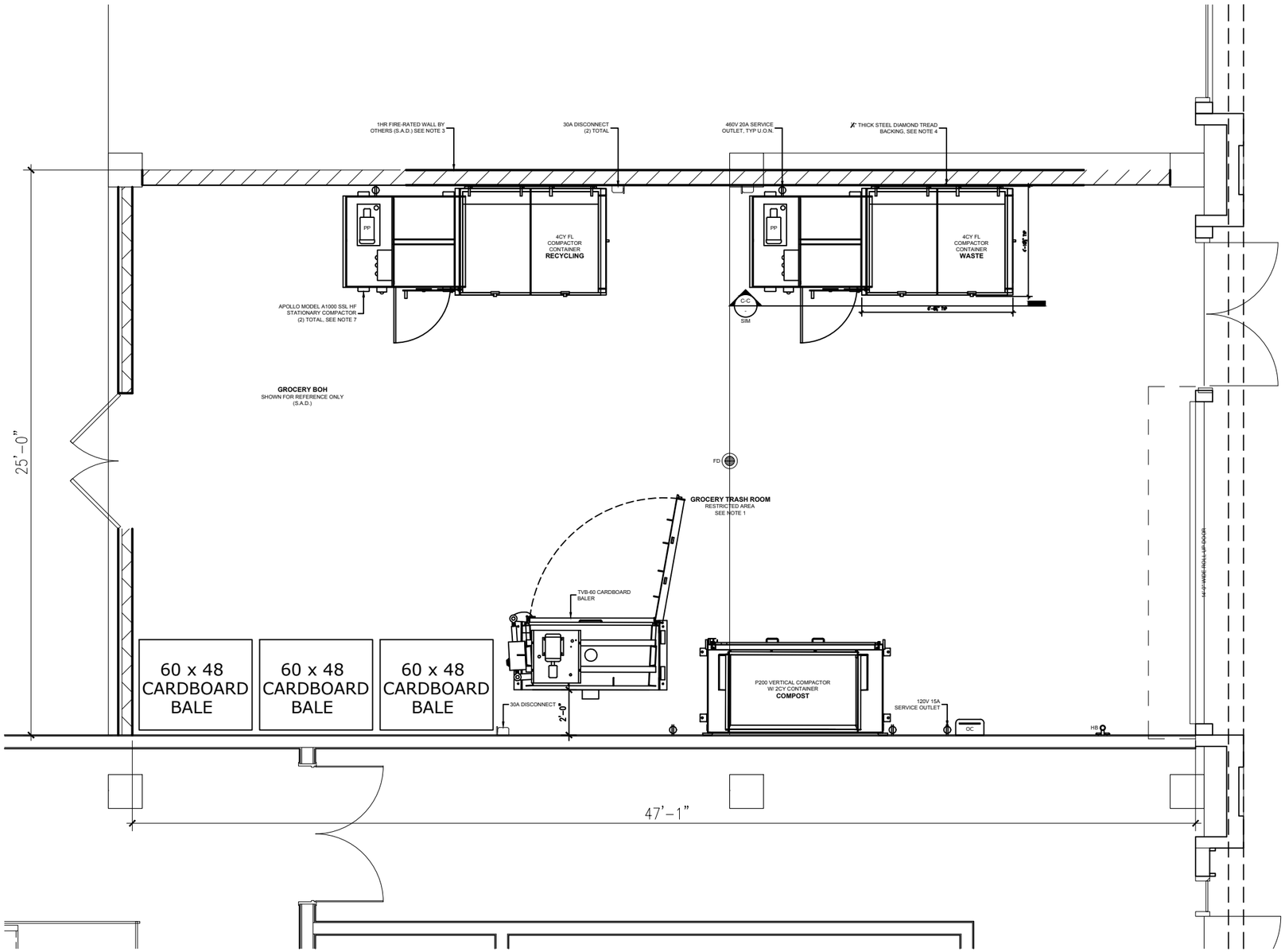
PROJECT

Residential Trash Closet Layout

DRAWING TITLE

PROJECT NO.	
DRAWN	PH
APPROVED	SB
DATE	06/03/2022
SCALE	3/8" = 1'-0"

DRAWING NO. T1.1



COMMERCIAL TRASH ROOM PLAN

PROTOTYPE ONLY

SHEET NOTES:

BUILDING 1. COMMERCIAL TRASH ROOM. LEVEL 1

1. TRASH COLLECTION ROOM IS 1HR FIRE-RATED - RESTRICTED ACCESS.
2. FLOORS SHALL BE FINISHED WITH WATERPROOF DECK COATING WITH MINIMAL SLOPE AND FLOOR DRAIN. LEVEL FLOOR UNDER COMPACTORS.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT 8'-0" AFF.
4. WALL PROTECTION: ¼" THICK STEEL DIAMOND TREAD BACKING ALONG WALL BEHIND COMPACTORS 6'-0" AFF.
5. (2) 10'-0" WIDE ROLL-UP DOORS FOR TRANSFERRING CONTAINERS.
6. ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/SF PER 2019 CBC.
7. APOLLO MODEL A1000 SINGLE-SIDE LATCH HAND-FED STATIONARY COMPACTORS FOR WASTE AND RECYCLING.
8. PP: POWER PACKS SHALL BE COMPACTOR- MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECTS 60" AFF. PROVIDE 4CY FL COMPACTOR CONTAINERS FOR DISPOSAL.
9. AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED.
10. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
11. HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
12. PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY WITH 45.5" TURNING RADIUS. STORE IN BUILDING 1 RESIDENTIAL TRASH ROOM.
13. 120V 15A SERVICE OUTLETS REQUIRED FOR ALL EQUIPMENT (U.O.N.).
14. STORE CARDBOARD BALES ELSEWHERE.

GENERAL NOTES.

1. ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
2. ANY PARTIAL INFORMATION, OMISSIONS, OR INACCURATE DESCRIPTIONS OF WORK SHOWN IN DRAWINGS, WHICH ARE NECESSARY TO PERFORM THE SCOPE OF WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLETION OF WORK. ALL WORK SHALL BE PERFORMED TO SATISFY THE MINIMUM REQUIREMENTS OF THE CURRENT APPLICABLE BUILDING CODES.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

PROJECTED GROCERY COLLECTION SCHEDULE/WK

SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	1 x 4CY FL COMPACTOR CONTAINER	3x/wk
RECYCLING	1 x 4CY FL COMPACTOR CONTAINER	3x/wk
COMPOST	1 X 2CY FL COMPACTOR CONTAINER	2x/wk

AMERICAN TRASH MANAGEMENT

AMERICAN TRASH MANAGEMENT
1900 POWELL STREET, SUITE 220
EMERYVILLE, CALIFORNIA 94608
P: 415.292.5400
F: 415.292.5410
SBROWN@TRASHMANAGE.COM

CONSULTANT

KSH

ARCHITECT

LANE PARTNERS

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

KSH-222 E 4th-San Mateo

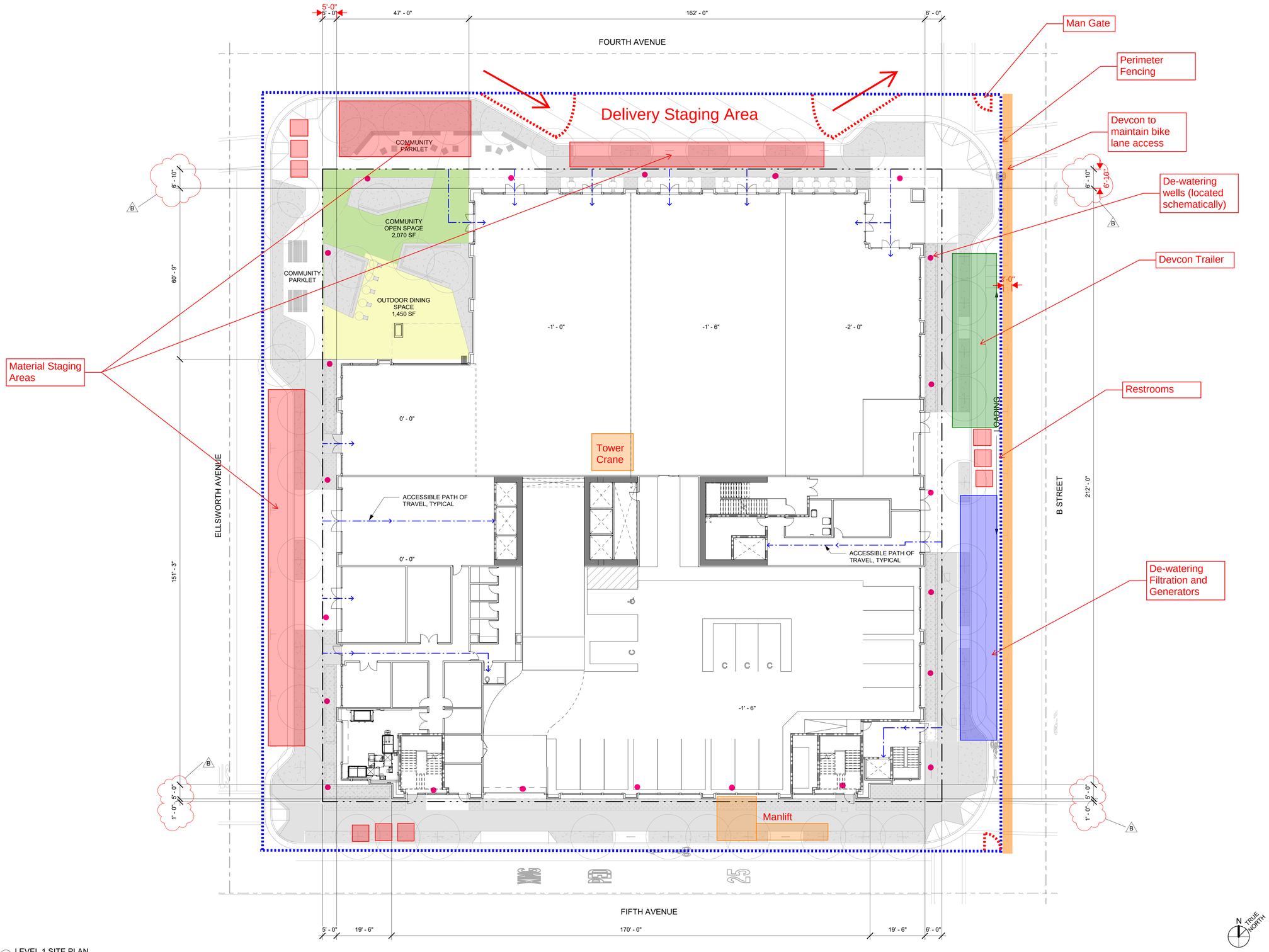
PROJECT

Grocery Trash Room Prototype

DRAWING TITLE

PROJECT NO.	
DRAWN	PH
APPROVED	SB
DATE	06/03/2022
SCALE	3/16" = 1'-0"

DRAWING NO. T1.2



1 LEVEL 1 SITE PLAN
1/16" = 1'-0"

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

ISSUES AND REVISIONS

No.	Date	Description
A	5/5/20	Pre-Application Set
B	10/21/20	Pre-App Resubmittal
C	03/19/21	Pre-App Resubmittal

PROJECT NUMBER
16010.00

SHEET TITLE
SITE PLAN

SCALE
1/16" = 1'-0"

SHEET NUMBER

DEV-101

222 EAST 4TH

LANE PARTNERS

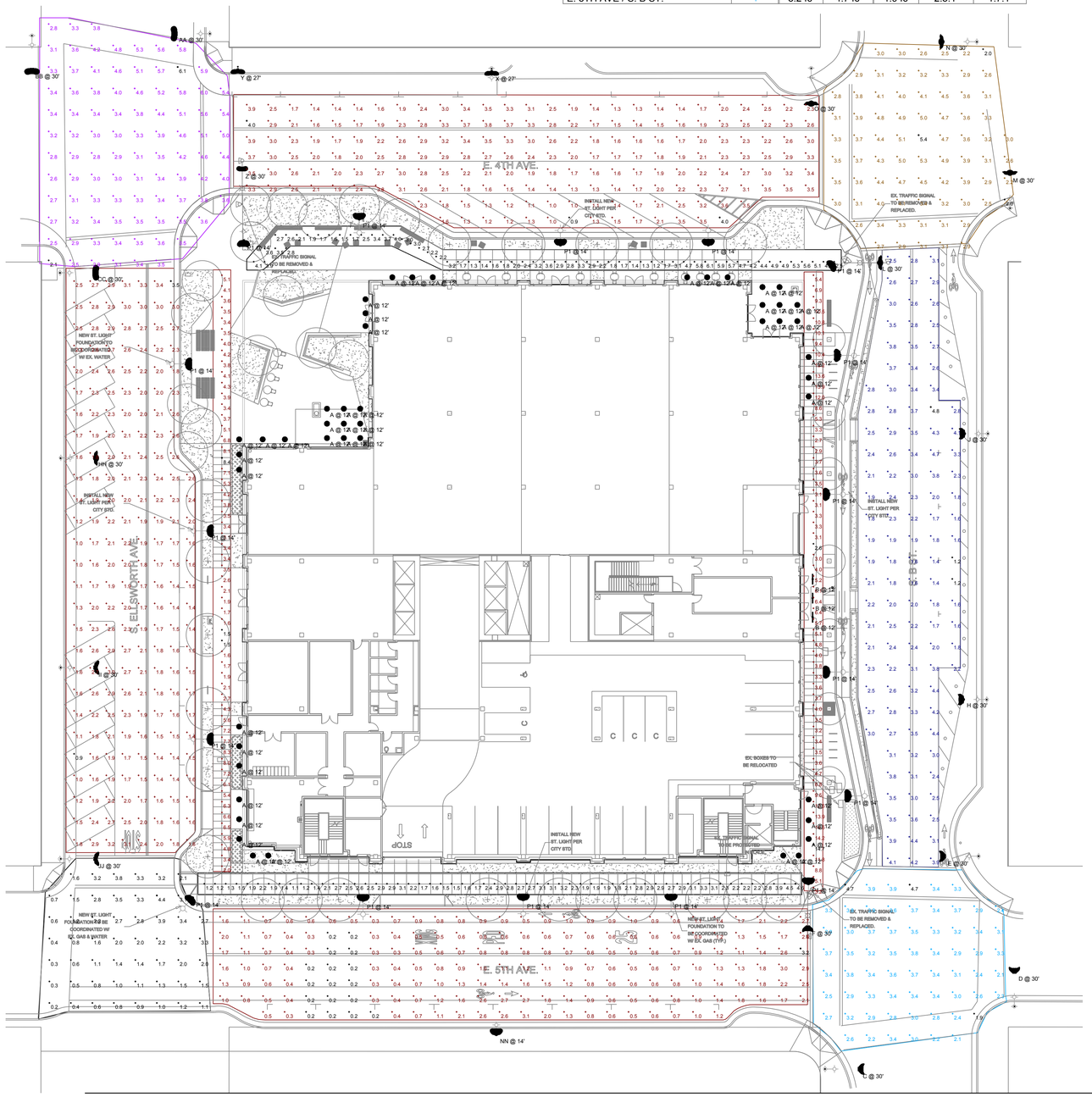
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
E. 4TH AVE - ROAD	+	2.3 fc	4.0 fc	0.9 fc	4.4:1	2.6:1
E. 5TH AVE - ROAD	+	1.0 fc	3.2 fc	0.2 fc	16.0:1	5.0:1
S. B ST. - ROAD	+	2.7 fc	4.8 fc	1.2 fc	4.0:1	2.3:1
S. ELLSWORTH AVE - ROAD	+	2.0 fc	3.5 fc	0.9 fc	3.9:1	2.2:1
E. 4TH AVE - SIDEWALK	+	3.1 fc	6.1 fc	1.2 fc	5.1:1	2.6:1
E. 5TH AVE - SIDEWALK	+	2.4 fc	4.6 fc	1.1 fc	4.2:1	2.2:1
S. B ST. - SIDEWALK	+	6.6 fc	14.7 fc	2.6 fc	5.7:1	2.5:1
S. ELLSWORTH AVE - SIDEWALK	+	4.3 fc	8.4 fc	1.5 fc	5.6:1	2.9:1
E. 4TH AVE / S. ELLSWORTH AVE	+	3.8 fc	6.1 fc	2.1 fc	2.9:1	1.8:1
E. 4TH AVE / S. B ST.	+	3.5 fc	5.4 fc	2.0 fc	2.7:1	1.8:1
S. ELLSWORTH AVE / E. 5TH AVE	+	1.8 fc	4.4 fc	0.2 fc	22.0:1	9.0:1
E. 5TH AVE / S. B ST.	+	3.2 fc	4.7 fc	1.9 fc	2.5:1	1.7:1

- The lighting levels the project is required to meet shall be:

Analysis Zone	Pavement Average Horizontal Illuminance (fc) L_{avg}	Average Uniformity Ratio L_{avg}/L_{min}	Maximum Uniformity Ratio L_{max}/L_{min}
4th Ave – Road	1.7	3.0	5.0
5th Ave - Road	1.7	3.0	5.0
B St - Road	1.1	3.0	5.0
Ellsworth Ave - Road	1.1	3.0	5.0
4th Ave - Sidewalk	0.9	4.0	NA
5th Ave - Sidewalk	0.9	4.0	NA
B St - Sidewalk	0.9	4.0	NA
Ellsworth Ave - Sidewalk	0.9	4.0	NA
4th Ave / Ellsworth Ave	2.7	3.0	NA
4th Ave / B St	2.7	3.0	NA
5th Ave / Ellsworth Ave	2.7	3.0	NA
5th Ave / B St	2.7	3.0	NA

Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	17	King Luminaire	K100WR-B3AR-IV-100(SST)-1054		1	5376	1	104	Max: 2958cd
	47	LEDRA BRANDS		NUK-QD-XTM19-13LM-30K-83-D70-120-DIM10-RET-WH-WH	1	1045	1	13.67	Max: 963cd
	3	WILLIAMS INDOOR	75S-4-L50-835-DIM-UNV	4' LED STRIP LUMINARE WHITE REFLECTOR w/FROSTED ACRYLIC SQUARE LENS	1	4862	0.2	33	Max: 1696cd
	0	King Luminaire	K100WR-B3AR-IV-100(SST)-1054		1	5376	1	104	Max: 2958cd
	1	King Luminaire	K100WR-B3AR-IV-100(SST)-1054		1	5376	1	104	Max: 2958cd
	1	CREE, INC.	XSPAx3HA-U or BXSPAx3HA-U	DOUBLE LED MODULE TYPE III 4000K XSP2	10	960	1	99.5	Max: 7116cd
	1	CREE, INC.	XSPAx3HA-U or BXSPAx3HA-U	DOUBLE LED MODULE TYPE III 4000K XSP2	10	960	1	99.5	Max: 7116cd
	1	CREE, INC.	XSPAx3HA-U or BXSPAx3HA-U	DOUBLE LED MODULE TYPE III 4000K XSP2	10	960	1	99.5	Max: 7116cd
	1	CREE, INC.	XSPAx3HA-U or BXSPAx3HA-U	DOUBLE LED MODULE TYPE III 4000K XSP2	10	960	1	99.5	Max: 7116cd
	1	Cree Inc	BXSP-B-xx-3ME-B-40K-U-	XSP LED Streetlight, Double module, Version B, Type III Medium, 4000K CCT	1	10073	1	99.37	Max: 8616cd
	1	CREE, INC.	STR-LWY-2M-**-06-E-UL-S25-40K (S25mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL-3060-UDT (700mA)	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	60	150	1	100	Max: 6126cd
	1	Cree Inc	BXSP-B-xx-3ME-B-40K-U-	XSP LED Streetlight, Double module, Version B, Type III Medium, 4000K CCT	1	10073	1	99.37	Max: 8616cd
	1	Leotek Electronics USA Corp, San Jose CA 95131.	GC1-80F-MV-NW-3-CY-530 Scaled from GC1-80F-MV-NW-3-CY-700 LU-14304-1	Leotek Spigot-mounted 80 LED Street light. Cat No. GC1-80F-MV-NW-3-CY-530 Gray powder coated cast aluminum housing with vertical cooling fins above LEDs. Removable, hinged, gear housing door. 80 "Luxeon 'T' LED's" in 10x8 arrangement, luminous opening 0.75 L x 7.5"W. Two Lite-On Power LED Drivers, Model No. PA-1101-18SL 100-277Vac 50/60Hz. Tested at 120V 60Hz with luminous opening horizontal. Dimming set to 530mA.	80	177	1	133.5	Max: 8647cd
	1	Leotek Electronics USA Corp, San Jose CA 95131.	GC1-80F-MV-NW-3-CY-530 Scaled from GC1-80F-MV-NW-3-CY-700 LU-14304-1	Leotek Spigot-mounted 80 LED Street light. Cat No. GC1-80F-MV-NW-3-CY-530 Gray powder coated cast aluminum housing with vertical cooling fins above LEDs. Removable, hinged, gear housing door. 80 "Luxeon 'T' LED's" in 10x8 arrangement, luminous opening 0.75 L x 7.5"W. Two Lite-On Power LED Drivers, Model No. PA-1101-18SL 100-277Vac 50/60Hz. Tested at 120V 60Hz with luminous opening horizontal. Dimming set to 530mA.	80	177	0.75	133.5	Max: 8647cd
	1	Leotek Electronics USA Corp, San Jose CA 95131.	GC1-80F-MV-NW-3-CY-530 Scaled from GC1-80F-MV-NW-3-CY-700 LU-14304-1	Leotek Spigot-mounted 80 LED Street light. Cat No. GC1-80F-MV-NW-3-CY-530 Gray powder coated cast aluminum housing with vertical cooling fins above LEDs. Removable, hinged, gear housing door. 80 "Luxeon 'T' LED's" in 10x8 arrangement, luminous opening 0.75 L x 7.5"W. Two Lite-On Power LED Drivers, Model No. PA-1101-18SL 100-277Vac 50/60Hz. Tested at 120V 60Hz with luminous opening horizontal. Dimming set to 530mA.	80	177	1	133.5	Max: 8647cd
	1	Leotek Electronics USA Corp, San Jose CA 95131.	GC1-80F-MV-NW-3-CY-530 Scaled from GC1-80F-MV-NW-3-CY-700 LU-14304-1	Leotek Spigot-mounted 80 LED Street light. Cat No. GC1-80F-MV-NW-3-CY-530 Gray powder coated cast aluminum housing with vertical cooling fins above LEDs. Removable, hinged, gear housing door. 80 "Luxeon 'T' LED's" in 10x8 arrangement, luminous opening 0.75 L x 7.5"W. Two Lite-On Power LED Drivers, Model No. PA-1101-18SL 100-277Vac 50/60Hz. Tested at 120V 60Hz with luminous opening horizontal. Dimming set to 530mA.	80	177	1	133.5	Max: 8647cd
	1	King Luminaire	K803-PARAD-III-100(SSL)-8000	NULAP LOGO AND LAB ID NUMBER SHALL BE PRESENT ON THE PRODUCT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NULAP, NIST, OR ANY GOVERNMENT AGENCY	1	11896	0.75	90	Max: 6476cd
	1	King Luminaire	K803-PARAD-III-100(SSL)-8000	NULAP LOGO AND LAB ID NUMBER SHALL BE PRESENT ON THE PRODUCT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT BY NULAP, NIST, OR ANY GOVERNMENT AGENCY	1	11896	1	90	Max: 6476cd
	1	CREE, INC.	STR-LWY-2M-**-06-E-UL-S25-40K (S25mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL-3060-UDT (700mA)	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	80	150	1	135	Max: 8156cd
	1	CREE, INC.	STR-LWY-2M-**-06-E-UL-S25-40K (S25mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL-3060-UDT (700mA)	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	80	150	1	135	Max: 8156cd
	1	CREE, INC.	STR-LWY-2M-**-06-E-UL-S25-40K (S25mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL-3060-UDT (700mA)	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	80	150	1	135	Max: 8156cd
	1	CREE, INC.	STR-LWY-2M-**-06-E-UL-S25-40K (S25mA) CONFIGURED FROM STR-LWY-2M-**-06-E-UL-700-40K or BXSL-3060-UDT (700mA)	CONFIGURED FROM 60 LED Type II Medium Optic, 700mA 4000K LEDway Streetlight	80	150	1	135	Max: 8156cd
	1	Cree Inc	BXSPCxx3ME40K-UL-CONFIGURED FROM BXSPCxx3ME70K-xxxxxx	CONFIGURED FROM Cree XSP Series Area/Street Luminaire, Double Module, Type III Medium, 3000K, F Input Power Designator	1	13433	1	139	Max: 8941cd
	1	Cree Inc	BXSPCxx3ME40K-UL-CONFIGURED FROM BXSPCxx3ME70K-xxxxxx	CONFIGURED FROM Cree XSP Series Area/Street Luminaire, Double Module, Type III Medium, 3000K, F Input Power Designator	1	13433	1	139	Max: 8941cd
	0	Cree Inc	XSPSM-D-HT-2ME-SL-200T-UV-WR-CONFIGURED FROM XSPSM-D-HT-2ME-SL-40K7-UL-0V-N	CONFIGURED FROM XSPSM LED Street/Area Luminaire - Small, SL Lumen Pack, 200mA, Type 3 Medium Optic Distribution, 40k CCT, 70 CRI	1	5075	1	47	Max: 4689cd



222 E 4th Ave,
San Mateo, CA

Designer

LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	TYPE / LOCATION	MANUFACTURER / CATALOG NO.	LAMPS	WATTS	VOLTAGE	NOTES
P1		LED POLE LIGHT	King Luminaire: K118-B3AR-IV-100(SSL)	LED	92W	120/277	DIMMABLE, WET LISTED
A		LED DOWNLIGHT	ALPHABET: NU6-QD-XTM19-13LM-30K-83-D70-120-DIM10-RET-WH-WH	LED	14W	120/277	DIMMABLE, WET LISTED
B		4' LED STRIP	WILLIAMS: 75S-4-L50-835-DIM-UNV	LED	33W	120/277	DIMMABLE, WET LISTED

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	2/14/20	Pre-Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
SITE LIGHTING PHOTOMETRIC CALKS

SCALE

SHEET NUMBER

EP-1

K118 WASHINGTON - LED

The King Luminaire K118 Washington is a beautiful depiction of this street light classic. This historical acorn shape teamed with King Luminaire's high performance LED engines make for a perfect solution for city streets, parks, schools and commercial areas.

King Luminaire

TYPE-P1

PRODUCT SPECIFICATIONS

R1/B3/B2 LED ENGINE
Light engine shall be an array of 36, 42, 54 or 63 solid state Cree X-Series high power LEDs (light emitting diodes) mounted to a multi-sided, vertical heat sink of highly conductive aluminum. The LED emitters are mounted to removable circuit boards such that they are in full thermal contact with the vertical heat sink. The vertical heat sink is open at the bottom and vented at the top to provide appropriate dynamic airflow cooling for the LED array. The emitters are arranged in various patterns on each face of the vertical heat sink to provide the required light distribution.

The LED arrays include optical baffles constructed of optical grade ABS plastic with a vacuum metallized reflective surface or clear acrylic precision refractors over each diode. Optical options are designed to efficiently control light distribution in IESNA Type IV & V for the B3/B2 and Type III & V for the R1.

P4 LED ENGINE
Light engine shall include an array of Cree X-Series high power LEDs (light emitting diodes). The emitters shall be mounted to a metal core circuit board using SMT technology. The LEDs and circuit boards shall then be mounted to a high performance heat sink.

External light control shall consist of high precision refractive lenses mounted above the LED emitter arrays in such a way to achieve optimum uplight control. The lenses shall also control horizontal light distribution so that either Type II, III, IV or V IESNA distribution patterns are achieved.

LUMINAIRE CONSTRUCTION
All K118 Washington cast components shall consist of a heavy cast aluminum. The main body or capital acts as an enclosure for the driver assembly and is of adequate thickness to give sufficient structural rigidity. The capital shall have an opening at the base tenon body to allow the luminaire to be mounted to a tenon of 3-1/2" maximum diameter. The luminaire shall be locked in place by means of heavy duty, stainless steel set-screws.

GLOBE ASSEMBLY
The protective globe shall be molded of either; rippled polycarbonate Miles Makrolon GP/OP Thermoplastic Polymer, or equivalent, or rippled acrylic Acrylite Plus Acrylic Polymer, or equivalent, having a minimum thickness of 0.125".

The globe assembly is a self-contained unit consisting of the globe, rugged cast locking ring, and the LED light engine and optical control. The LED light engine is of a modular design, and is able to be quickly removed from the globe assembly. The globe assembly is secured to the main housing by means of a spring-tensioned, twist-locking Rotolock™ unit to allow tool-less removal of the globe, while maintaining a secure seal between the globe assembly and the main body of the luminaire, making the K118 Washington suitable for an outdoor environment.

DRIVER
The LED universal dimmable driver will be class 2 and capable of 120 - 277V or 347 - 480V input voltage, greater than 0.9 power factor, less than 20% total harmonic distortion. The case temperature of the driver can range from -40°C up to 70°C. Each LED system comes with a standard surge protection designed to withstand up to 20kV/10kA of transient line surge as per IEEE C62.41.2 C High. An in-line ferrite choke is utilized to provide protection against EFT's. The driver assembly will be mounted on a heavy duty fabricated galvanized steel bracket to allow complete tool-less maintenance. Dimming capable using 1-10vdc (10% to 100%), 10v PWM, or resistance.

PHOTOMETRICS
Fixtures are tested to IESNA LM79 specifications. These reports are available upon request.

CHROMATICITY
High output LEDs come standard at 3000K & 4000K (+/- 300K) with a minimum nominal 70 CRI. Additional CCT emitters are available upon request.

LUMEN MAINTENANCE
Reported (TM21) and Calculated (L70) reports are available upon request with a minimum calculated value of 100,000 hrs.

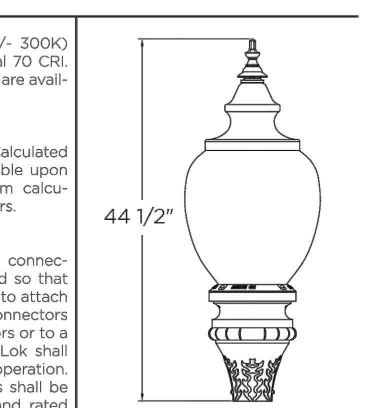
WIRING
All internal wiring and connections shall be completed so that it will be necessary only to attach the incoming supply connectors to Mate-N-Lok connectors or to a terminal block. Mate-N-Lok shall be certified for 600V operation. Internal wire connectors shall be crimp connector only and rated at 1000V and 150°C. All wiring to be CSA certified and/or UL listed, type SFF-2, SEWF-2, or SEW-2 No. 14 gauge, 150°C, 600V, and color coded for the required voltage.

THERMALS
Fixtures tested by a DOE sanctioned test facility to determine the maximum in-situ solder-point or junction-point temperatures of the LED emitters. This report is available upon request.

FINISH
Housing is finished with a 13 step KingCoat™ SuperDurable polyester TGIC powder coat. Standard colors include strobe white, brown metal, marina blue, gate gray, Chicago bronze, standard gold, standard black, federal green and rain forest. Please see our website for a complete list of colors. RAL and custom color matches are available.

MISCELLANEOUS
All exterior hardware and fasteners, wholly or partly exposed, shall be stainless steel alloy. All internal fasteners are stainless steel or zinc coated steel. All remaining internal hardware is stainless steel, aluminum alloy, or zinc coated steel.

WARRANTY
The K118 Washington LED luminaire comes with a 7 year limited warranty.



CERTIFICATION:
CSA US Listed
Suitable for wet locations
ISO 9001
IP66
ARRA Compliant
LM79 / LM80 Compliant

DRIVER INFO:
>0.9 Power Factor
<20% Total Harmonic Distortion
120 - 277V & 347 - 480V
-40°C Min. Case Temperature
70°C Max. Case Temperature
Surge Protection: ANSI C136.2 extreme level 20kV/10kA
Dimming Capable: 1-10vdc

EPA:
1.53 sq. ft.

FIXTURE WEIGHT:
38 lbs

Not all product variations listed on this page are DLC qualified. Visit www.designlights.org/search to confirm qualification. Contact King Luminaire for product specifications that are exempt from CSA Certification. 08-27-2021

ALPHABET LEDRAbrands TYPE-A

Alphabet by Ledra Brands, Inc. | 88 Maxwell Irvine, CA 92618 | PH: 714.259.9959 FAX: 714.259.9969 | AlphabetLighting.com

JOB NAME
CONTACT
ORDERING CODE

NU6" Square Downlight Xicato

XICATO LUTRON eldoLED

DESCRIPTION
The NU6QD 6" recessed downlight by ALPHABET offers multiple cutting edge LED technologies, premium performance, thoughtful construction and pleasing aesthetics. Offered standard with premium dimming using EldoLED 1% flicker free drivers 120V-277V universal voltage. Also offered 347V. A minimalistic look is achieved with an ultrathin 1/16" trim that is only 5/16" wide. Color choices of both trim and bezel are offered for a customized look. Several beam angles and LITEOPTICS available, plus an optional high-efficiency BrightView diffused lens for smooth light distribution and obscured LED image.

HOUSING
Electrocoated 16-gauge cold-rolled steel provides enhanced structural reinforcement and rust prevention. Superior, UL-certified, injection-molded commercial-grade Lexan™ (PC) is used for the frame and regressed bezel trim. Lexan provides unmatched durability and impact resistance, and is tested for UV resistance and water exposure in outdoor applications. The thermally-advanced, anodized heat sink uses 6063 aluminum alloy. Wet location rated is offered standard. A 90-minute constant-power IOTA emergency battery backup is available.

MOUNTING
An advanced mounting system allows for quick and secure installation with LED and driver serviceability from below the ceiling. The LED assembly uses die-cast aluminum mounting clamp grips (MCG) that swing out to tighten onto variable ceiling thicknesses. Integrated rubber feet on each MCG provide a non-slip vibration-resistant installation. The hidden MCG system is accessible from below ceiling by removing the snap-in lens/bezel assembly with either the included suction cup or a screwdriver blade. Integrated bar hangers feature integral toothed nails, T-bar mounting slots with locking holes, tabs for joist positioning. Retrofit mounting option allows for installation from below ceiling by use of compact driver box. No risk damaging LED or bezel assembly during installation, these are installed during last steps. Fixture and driver are easily removed for servicing after install without damaging drywall.

MOUNTING DIMENSIONS	CEILING THICKNESS	CEILING CUTOUT
Trim	1/8" to 1-5/8"	6-1/4" square

New Construction Bar Hangers (included)	Mounting Length: 14-3/4" to 26"
Extension Kit p/n: K20266 (ordered separately, 1 per fixture)	*Extends a pair of Bar Hangers* Total Mounting Length: 29" to 48"

LISTINGS
- ETLus Listed to UL1598, cETL Listed to CSA C22.2 #250.0
- IP65 with lens - Suitable for wet locations with lens - Suitable for damp locations without lens
- Non-conductive, Lexan dead-front construction
- Made in the USA - meets the requirements of the Buy American provision within the ARRA

RATINGS / CERTIFICATIONS	NC	RET	IC	ICAT	CP
Type non-IC	✔	✔			
Type IC			✔	✔	✔
Chicago Plenum (CCEA)					✔
Suitable for air handling plenums				✔	✔
Reduced airflow (with lens) ASTM E283	✔	✔	✔	✔	✔

LED INFO
- SDCM = 1X2 MacAdam Ellipse, Duv +/- 0.001, Lumen Maintenance: L_{90} > 55,000 hrs

XICATO XTM MODULE - ORDERING CODE (see page 3) LM-79

SERIES	NU6	
TYPE	QD	square downlight
LED	XTM19	Xicato XTM 19mm
DELIVERED LUMENS	07LM 10LM 13LM 20LM 30LM 40LM 50LM	660 lm 940 lm 1220 lm 1880 lm 2820 lm 3760 lm 4600 lm
CCT	27K B27K[2] 30K V30K 35K 40K	2700K 2700K beauty 3000K 3000K vibrant 3500K 4000K
CRI	83 98[1]	83 CRI 98 CRI
REFLECTOR & LM MULTIPLIER	HE70 HE85 S65 D70 WH80	70° high efficiency diffused lens (0.93) 85° high efficiency diffused lens (0.96) 65° specular with clear lens (0.97) 70° diffused with clear lens (0.93) 80° brilliant white with clear lens (1.00)
NO LENS OPTION	NL[5]	no lens
VOLTAGE	120 UNV 347[11]	120V 120V-277V 347V
DIMMING	DIM10[6] DIM10Z[6] DALI[6] DALIZ[6] DMXZ LTE[9] LUT[9] LUTP[10] ELV[7]	eldoLED flicker free 0-10V dimming to 1% eldoLED flicker free 0-10V dimming to 0% eldoLED flicker free DALI dimming to 1% eldoLED flicker free DALI dimming to 0% flicker free DMX dimming to 0% Lutron Hi-lume 2-Wire (Triac) dimming to 1% Lutron Hi-lume EcoSystem dimming to 1%, Soft-on & Fade-to-Black Lutron Hi-lume Premier EcoSystem dimming to 0.1%, Soft-on & Fade-to-Black leading & trailing edge dimming (Triac/ELV)
MOUNTING OPTIONS	NC IC[3] ICAT[3] CP[3] RET	new construction with ceiling fitting plate insulation contact housing insulation contact/airtight housing chicago plenum housing retrofit, no ceiling fitting plate
TRIM COLOR	BK WH MC BZ WT	black white matte chrome bronze wheat
BEZEL COLOR	BK WH MC BZ WT	black white matte chrome bronze wheat
ELECTRICAL OPTIONS	EM7[8] EM12[4,8]	emergency battery backup, 90 minutes at 7 watts to LED emergency battery backup, 90 minutes at 12 watts to LED

ORDERING CODE

Follow the steps to specify your fixture, example:
NU6 - QD - XTM19 - 13LM - 35K - 98 - D70 - 120 - DIM10 - NC - WH - WH - EM7

XTM19 (LED)	POWER	
DELIVERED LM	W (83 CRI)	W (98 CRI)
660	10	11
940	12	15
1220	17	21
1880	26	33
2820	37	43
3760	49	N/A
4600	57	N/A

Power Factor ≥ 0.9

NOTES
1. 98CRI not available for 40LM or 50LM.
2. B27K Beauty Series choose 98 CRI (actual 93). Available for 07LM, 10LM, 13LM, and 20LM only.
3. IC/ICAT/CP not available for 40LM or 50LM.
4. EM12 not available for 83CRI in 07LM, 10LM or 13LM.
5. No lens option available for S65, D70 or WH80 and is damp location rated.
6. Driver uses logarithmic dimming curve as standard. For linear dimming curve add "LIN" after dimming code, i.e. DIM10LIN.
7. Triac/ELV dimming available for 83/98CRI in 10LM, 13LM, 20LM, & 83CRI only in 30LM. Dimmable to < 10% in 10LM, 13LM, 120V only. Dimmable to < 1% in 20LM, 30LM.
8. For integrated test switch add "ITS" after emergency backup code, i.e. EM12ITS. Test switch is mounted in the bezel of the fixture.
9. LTE/LUT not available in 40LM or 50LM.
10. LUTP not available in 20LM, 30LM, 40LM, or 50LM.
11. 347V not available in 40LM and 50LM. DIM10 offered in 347V using a dedicated 347V Osram 0-10V 1% Driver except for 30LM 98CRI. For 30LM 98CRI and all other dimming options 347V is offered using a miniature Step-Down Transformer integrated with the Electrical Box. Triac and ELV dimming are not available.

ALPHABET LEDRAbrands TYPE-A

Alphabet by Ledra Brands, Inc. | 88 Maxwell Irvine, CA 92618 | PH: 714.259.9959 FAX: 714.259.9969 | AlphabetLighting.com

ENERGY STAR - ORDERING CODE

SERIES	NU6	
TYPE	QD	square downlight
LED	XTM19	Xicato XTM 19mm
DELIVERED LUMENS	10LM 13LM 27LM 30LM 33LM 40LM	940 lm 1220 lm 2311 lm 2500 lm 2737 lm 3330 lm
CCT	27K 30K 35K 40K	2700K 3000K 3500K 4000K
CRI	83 90[2]	83 CRI 90 CRI
REFLECTOR & LM MULTIPLIER	HE70 HE85 S65 D70[3] WH80	70° high efficiency diffused lens (0.93) 85° high efficiency diffused lens (0.96) 65° specular with clear lens (0.97) 70° diffused with clear lens (0.93) 80° brilliant white with clear lens (1.00)
VOLTAGE	120 277	120V 277V
DIMMING	DIM10 DIM10Z[4]	eldoLED flicker free 0-10V dimming to 1% eldoLED flicker free 0-10V dimming to 0%
MOUNTING OPTIONS	NC IC[1] ICAT[1] RET	new construction with ceiling fitting plate insulation contact housing insulation contact/airtight housing retrofit, no ceiling fitting plate
TRIM COLOR	WH	white
BEZEL COLOR	WH	white
ELECTRICAL OPTIONS	ES	energy star

ORDERING CODE

Follow the steps to specify your fixture, example:
NU6 - QD - XTM19 - 13LM - 27K - 90 - S65 - 120 - DIM10 - IC - WH - WH - ES

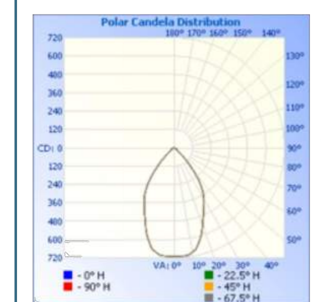
NOTES
1. IC and ICAT only available for 10LM and 13LM.
2. 90CRI only available for 10LM and 13LM.
3. D70 only available for 27LM, 30LM, 33LM and 40LM.
4. DIM10Z not available for 10LM and 13LM.

Zonal Lumen Summary

Zone	Lumens	%Lamp	%Fixt
0-20	243.31	N.A.	31.30
0-30	454.13	N.A.	58.40
0-40	643.12	N.A.	82.80
0-60	746.94	N.A.	96.10
0-80	771.12	N.A.	99.20
0-90	773.75	N.A.	99.60
10-90	706.46	N.A.	90.90
20-40	399.80	N.A.	51.40
20-50	481.47	N.A.	62.00
40-70	119.57	N.A.	15.40
60-80	24.18	N.A.	3.10
70-80	8.43	N.A.	1.10
80-90	2.63	N.A.	0.30
90-110	1.99	N.A.	0.30
90-120	2.32	N.A.	0.30
90-130	2.62	N.A.	0.30
90-150	3.09	N.A.	0.40
90-180	3.36	N.A.	0.40
110-180	1.38	N.A.	0.20
0-180	777.12	N.A.	100.00

Zonal Lumen Summary

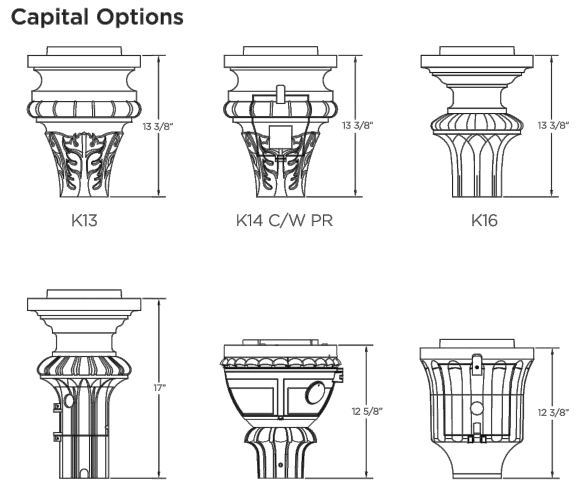
Zone	Lumens
0-10	67.29
10-20	176.02
20-30	210.82
30-40	188.99
40-50	81.66
50-60	22.16
60-70	15.74
70-80	8.43
80-90	2.63
90-100	1.30
100-110	0.69
110-120	0.33
120-130	0.30
130-140	0.26
140-150	0.21
150-160	0.15
160-170	0.09
170-180	0.03



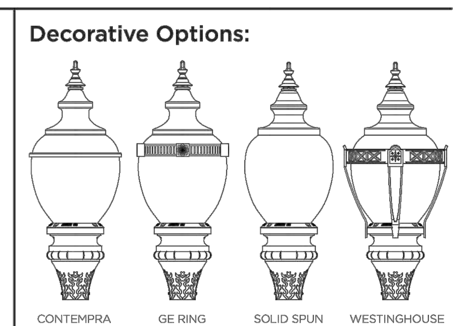
TYPE-P1
K118 WASHINGTON - LED

FIXTURE OPTIONS

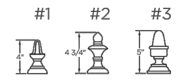
Capital Options



Decorative Options:



Finial Options:
#1 #2 #3



HOW TO ORDER

Example: K118R - B3AR - V,IV - 100 - (SSL) - 1054 - 120 - K23 - ___ - ___ - ___ - ___ - ___ - ___ - ___

LUMINAIRE STYLE
K118R - Washington

OPTICAL OPTIONS
B2 - B2 Optic (Baffled Array)
B3 - B3 Optic (Baffled Array)
R1 - R1 Optic (Refractive Array)
P4 - P4 Optic (Flat Array)

LENS OPTIONS
AR - Acrylic Rippled
PR - Polycarbonate Rippled

IES LIGHTING CLASSIFICATION
II - Type 2 (P4)
III - Type 3 (B2, P4)
IV - Type 4 (B3, R1, P4)
V - Type 5 (B2, B3, R1, P4)

WATTAGE
25, 40, 60, 75, 100, 120
*120 only available in R1

SOURCE
SSL - Solid State

SERIES
1030 (25 - 100W P4)
1036 (25 - 75W B3)
1042 (25 - 75W B2, R1)
1054 (100W B3)
1063 (100W B2)
1063 (100 - 120W R1)

LINE VOLTAGE
120V (120-277)
480V (347-480)*
*Select wattages available within this range, contact King Luminaire. 120V will be provided if blank.

PHOTO CONTROL OPTION
PR - Photo Receptacle Available with K14, K18, K26 & K24
PE - Photo Receptacle and Photo Eye Available with K14, K18, K26 & K24
PEBC-Photo Electric Buttoncell
*leave blank if not required

CAPITAL
K13, K14, K16
K18, K26, K24
*Additional options available on website

CONNECTION
Quick Disconnect is standard. If terminal block is required, please specify TB

CCT
3K - 3000K
4K - 4000K

DECORATIVE OPTIONS
GE - GE Ring Only
CR - Contempra Ring Only
SST - Solid Spun Top
WRS - Westinghouse Ring & Struts

FINIAL OPTIONS
#1, #2, #3
*Finial #1 is standard. Additional options available on website

PAINT COLOR
GN - Federal Green
BE - Blue
GY - Gray
BN - Brown
BK - Black
BZ - Bronze
*Additional options available on website. BK will be provided if blank.

WATTAGE SELECTOR
WS - Wattage Selector
* leave blank if not required

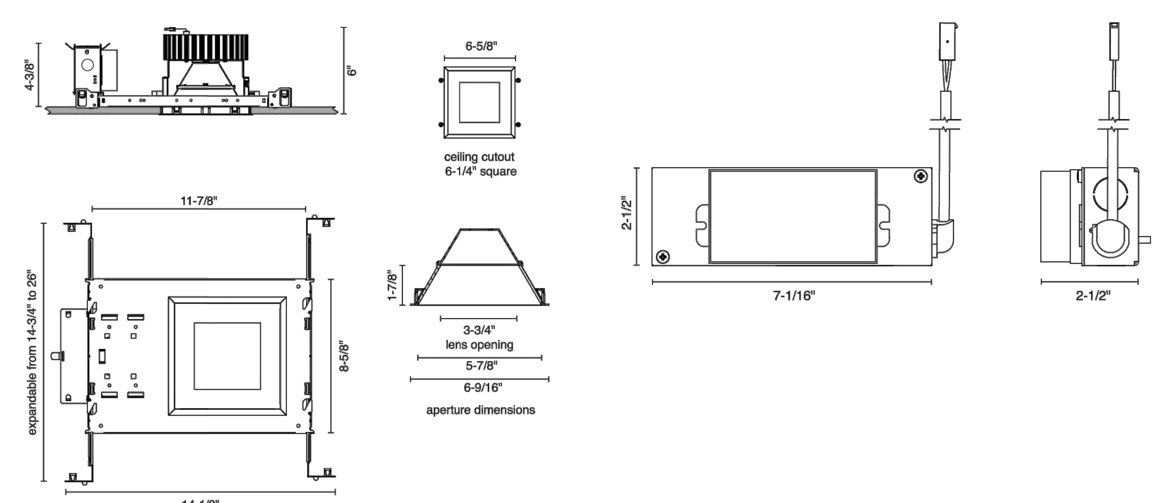
StressCrete GROUP www.scgrp.com King Luminaire

ALPHABET LEDRAbrands TYPE-A

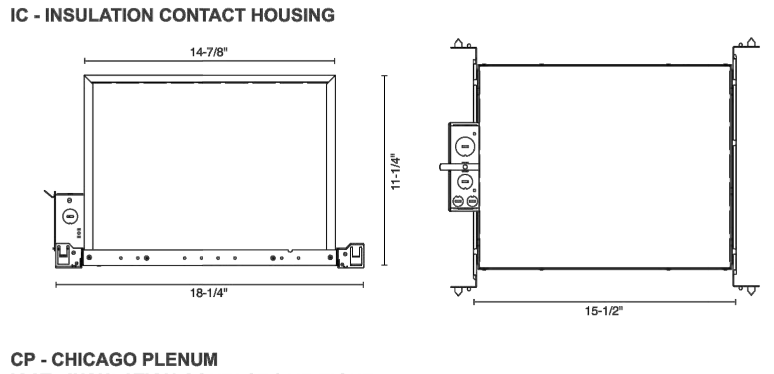
Alphabet by Ledra Brands, Inc. | 88 Maxwell Irvine, CA 92618 | PH: 714.259.9959 FAX: 714.259.9969 | AlphabetLighting.com

MOUNTING OPTIONS

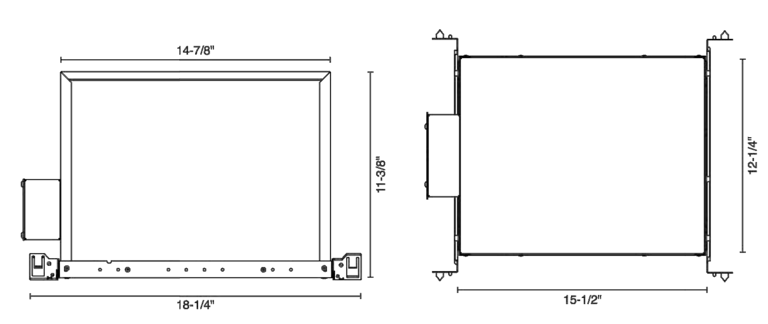
NC - NEW CONSTRUCTION / **RET - RETROFIT**



IC - INSULATION CONTACT HOUSING



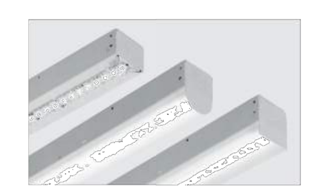
CP - CHICAGO PLENUM
ICAT - INSULATION CONTACT / AIR TIGHT

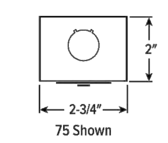


---

75 LED Narrow Strip

Williams





CATALOG #:
TYPE: TYPE-B
PROJECT:

FEATURES
- Available with Avi-on wireless fixture controls
- Small fixture profile allows inconspicuous placement in coves or confined spaces
- Round and square lensed fixtures provide a clean look for architectural environments
- Row applications produce continuous light with minimal interruption between fixtures
- Diffuse acrylic lens on 75R and 75S enhances uniformity and minimizes glare
- Variety of mounting accessories for surface and suspended applications
- Special reflectors are available to provide precise light distribution (75 only)
- Maximize energy savings with efficacies as high as 164 lm/W
- Made Right Here® in the USA

SPECIFICATIONS
- HOUSING – 22-gauge die-formed C.R.S.
- FINISH – 92% minimum average reflective white polyester powder coat bonded to phosphate-free, multi-stage pretreated metal. All parts painted after fabrication to facilitate installation, increase efficiency, and inhibit corrosion.
- ELECTRICAL – High quality mid-power LED board. See fixture performance data for lumen maintenance. 25°C maximum ambient operating temperature. 40°C maximum ambient operating temperature with HA Option, lumen restrictions apply, consult Fixture Performance Data.
- MOUNTING – Surface (ceiling or wall) or suspended (hanging hardware required).
- LISTINGS –
  - cETLus conforms to UL STD 1598. Certified to CAN/CSA STD C22.2 No. 250.0. Suitable for damp locations
  - DesignLights Consortium Premium qualified product. Not all versions of this product may be DLC Premium qualified, see the DLC Qualified Products List at designlights.org/QPL
- WARRANTY – 5-year limited warranty, see hew.com/warranty.

ORDERING EXAMPLE: 75 - 4 - L85/835 - OPTIONS - CONTROL - DIM - UNV

ORDERING INFO

SERIES	LENGTH [1]	LUMENS [2] 2'	3'	4'	8'	CRI	CCT
75	2 2'	L15 1,500lm	L40 4,000lm	L30 3,000lm	L60 6,000lm	8 80	27 2700K
75R	3 3'	L25 2,500lm	L64 6,400lm	L50 5,000lm	L100 10,000lm	9 90 [7]	30 3000K
75S	4 4'	L32 3,200lm		L65 6,500lm	L130 13,000lm		35 3500K
	8 8' [3]	L42 4,200lm		L85 8,500lm	L170 17,000lm		40 4000K
		L60 6,000lm [4]		L100 10,000lm	L200 20,000lm		50 5000K
				L120 12,000lm [5]	L240 24,000lm [6]		

OPTIONS [8]
EM/7WRM Remote mount 7-watt emergency battery
EM/10WLP Low-profile 10-watt emergency battery [9]
EM/10WRM Remote mount 10-watt emergency battery
C2__ Two-circuit quick-connect wiring harness. [10]
WG-75 11-gauge white powder coat wireguard
315 1-1/2" ceiling spacer
VBY (2) Y-hangers
VBY-2 (2) Y-hangers and (2) 2' chains
RA-75 Row aligner [11]
ZLSOR-RA1 Remote controller for Leviton sensor ZLS05 [12]
45AMB (2) 45° adjustable mounting brackets [13]
(L__) Additional lower lumen packages available.[14] Example: 7,000 nominal lumens = 75-4-L85/835-(L70)-DIM-UNV
HA High ambient operating temperature, 40°C [15]

AIRCRAFT CABLES (EXAMPLE: ACF/D48) [16]

Prefix		Type	Length
ACF/	Feeder	D 1" grid & hardpan	24 24"
ACJ/	Joiner	N 9/16" grid	48 48"
		S Slot grid	96 96"

CONTROL [17]
– None
AVI-LVFA Avi-on wireless fixture control [19]
AVI-LVFA-PIR Avi-on wireless fixture control with PIR motion and daylight sensor, bottom mount[20]
VDO Lutron Vive integral fixture control, RF with daylight and occupancy sensor (DFCSJ-OEM-OCC) [21]
VRF Lutron Vive integral fixture control, RF only (DFCSJ-OEM-RF) [22]
LV-OSFHU-ITW-120-347 Leviton PIR motion sensor, 120-347V
LV-ZLS05-ILW Leviton PIR motion and daylight sensor [23]
WS-FSP-311-L_-120/277 Wattstopper PIR motion and daylight sensor, 120/277.[24]

DRIVER [18]
DIM Driver with external dimming wires
DRV Driver without external dimming wires
DA Driver with 12V auxiliary power, without external dimming wires [25]
DSR Sensor-ready driver without external dimming wires [26]

VOLTAGE
120 120V
277 277V
UNV 120-277V
347 347V [27]

QUICKSHIP
4'
75R-4-L50/835-QS-DIM-UNV 75S-4-L50/835-QS-DIM-UNV
75R-4-L50/840-QS-DIM-UNV 75S-4-L50/840-QS-DIM-UNV
8'
75R-8-L100/835-QS-DIM-UNV 75S-8-L100/835-QS-DIM-UNV
75R-8-L100/840-QS-DIM-UNV 75S-8-L100/840-QS-DIM-UNV

NOTES
1 For actual length, see page 6 for FIXTURE DETAILS
2 Lumen output based on 3500 CCT. Actual lumens may vary +/-5%, see page 2 for FIXTURE PERFORMANCE DATA.
3 75R and 75S ships with (2) 4' lenses.
4 75 only.
5 75 only.
6 75 only.
7 Extended lead times may apply. Consult factory for availability.
8 See page 7 for FINISH OPTIONS. See page 6 for MOUNTING DETAILS. See page 7 for SPECIAL REFLECTORS.
9 4' and 8' only; Not available with 4' L120 and 8' L240 lumen packages.
10 See page 7 for QUICK CONNECT OPTIONS.
11 Required when row mounting with aircraft cables.
12 Please specify quantity required per project, ordered separately.
13 Cord recommended, ships separately. See page 6 for MOUNTING DETAILS. Field-adjustable up and down in 7-1/2° increments.
14 Specify in increments of 100 nominal lumens. Option must be specified with next higher lumen package.
15 Not available with 2' L60, 4' L120 and 8' L240 lumen packages. Lumen restrictions apply. See page 2 for FIXTURE PERFORMANCE DATA.
16 Units specified with aircraft cable require cord. See page 6 for MOUNTING DETAILS. Requires RA-75 row aligner. See page 6 for MOUNTING ACCESSORIES DETAILS.
17 See page 4 for CONTROL DETAILS.
18 See page 5 for ADDITIONAL DRIVER OPTIONS.
19 DA Driver only. SDT required when specified with 347V or 480V.
20 DA Driver only. SDT required when specified with 347V or 480V.
21 DSR or LDE Drivers only. LDE drivers require driver interface.
22 DSR or LDE Drivers only. LDE drivers require driver interface.
23 DA Driver only. Adjustable via remote. Optional ZLSOR-RA1 remote controller available, ordered separately, see options.
24 Must specify lens: L2 or L3. Factory installed.
25 Avi-on and LV-ZLS05 Controls only.
26 VDO and VRF Controls only.
27 Not available with EM batteries.

---

222 EAST 4TH
LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	2/14/20	Pre-Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
LIGHT FIXTURE CUT SHEETS

SCALE

SHEET NUMBER
EP-2

75 LED Narrow Strip

TYPE-B

FIXTURE PERFORMANCE DATA

	LED PACKAGE	WATTAGE	75 (NO LENS) DELIVERED LUMENS	75 (NO LENS) EFFICACY (lm/W)	75R & 75S DELIVERED LUMENS	75R & 75S EFFICACY (lm/W)	LUMEN MAINTENANCE L70	L80	L85	L90	AMBIENT TEMPERATURE[1] EM	NO EM
24	L15	10.8	1592	147.5	1511	140.1	>72000	>72000	>72000	50,000	40	40
	L25	18.2	2602	142.7	2470	135.5	>72000	>72000	>72000	50,000	40	40
	L32	21.3	3092	145.5	2936	138.1	>72000	>72000	58,000	36,000	40	40
	L42	31.4	4344	138.5	4124	131.5	>72000	>72000	58,000	36,000	35	40
	L60	43.6	6052	138.9	—	—	>72,000	53,000	38,000	24,000	—	—
24	L40	28.2	4092	145.2	3885	137.9	>72000	>72000	58,000	36,000	35	40
	L64	48.2	6593	136.9	6259	130.0	>72,000	53,000	38,000	24,000	30	35
54	L30	19.7	3071	155.8	2916	147.9	>72000	>72000	>72000	50,000	40	40
	L50	33.0	5126	155.5	4867	147.6	>72000	>72000	>72000	50,000	40	40
	L65	42.3	6313	149.3	5994	141.7	>72000	>72000	58,000	36,000	40	40
	L85	56.2	8530	151.7	8098	144.0	>72,000	53,000	38,000	24,000	35	40
	L100	68.3	10154	148.8	9640	141.2	>72000	>72000	58,000	36,000	30	30
	L120	85.9	12105	141.0	—	—	>72,000	53,000	38,000	24,000	—	—
54	L60	35.3	5814	164.9	5520	156.6	>72000	>72000	>72000	50,000	40	40
	L100	65.9	10078	152.9	9568	145.1	>72000	>72000	>72000	50,000	35	35
	L130	87.9	13011	148.1	12353	140.6	>72000	>72000	58,000	36,000	35	35
	L170	112.4	17060	151.7	16197	144.0	>72,000	53,000	38,000	24,000	35	35
	L200	136.5	20309	148.8	19281	141.2	>72000	>72000	58,000	36,000	30	30
	L240	171.7	24209	141.0	—	—	>72,000	53,000	38,000	24,000	—	—

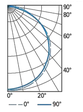
MULTIPLIER TABLE

	COLOR TEMPERATURE CCT	CONVERSION FACTOR
80 CRI	2700K	0.97
	3000K	0.99
	3500K	1.00
	4000K	1.03
	5000K	1.06
90 CRI	2700K	0.80
	3000K	0.82
	3500K	0.83
	4000K	0.86
	5000K	0.89

- Maximum ambient operating temperature (°C) when specified with HA option.
- Photometrics tested in accordance with IESNA LM-79. Results shown are based on 25°C ambient temperature.
- Wattage shown is average for 120V through 277V input.
- Results based on 3500K, 80 CRI, actual lumens may vary +/-5%
- Projected lumen maintenance calculated from LED manufacturer IES LM-80 data and in accordance with TM-21.
- Predicted lumen maintenance calculated in accordance with IES TM-21 per Energy Star (R) TM-21 Calculator rev. 02.08.16.
- Use multiplier table to calculate additional options.

PHOTOMETRY

75-4-L85/835-DIM Total Luminaire Output: 8530 lumens; 56.2 Watts | Efficacy: 152 lm/W | 80 CRI; 3500K CCT



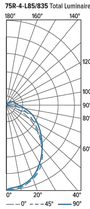
CANDLEPOWER DISTRIBUTION VERTICAL ANGLE	HORIZONTAL ANGLE 0°	45°	90°	ZONAL LUMENS
0	2896	2896	2896	
5	2917	2887	2876	275
15	2837	2799	2791	792
25	2663	2624	2610	1213
35	2415	2366	2338	1484
45	2066	2006	1990	1552
55	1634	1580	1560	1415
65	1124	1069	1048	1070
75	581	543	531	582
85	104	116	101	144
90	9	14	9	

LUMEN SUMMARY ZONE	LUMENS	% FIXTURE
0 - 30	2279	27
0 - 40	3763	44
0 - 60	6730	79
0 - 90	8527	100
0 - 180	8530	100

75 LED Narrow Strip

TYPE-B

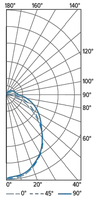
75R-4-L85/835 Total Luminaire Output: 8098 lumens; 56.2 Watts | Efficacy: 144 lm/W | 80 CRI; 3500K CCT



CANDLEPOWER DISTRIBUTION VERTICAL ANGLE	HORIZONTAL ANGLE 0°	45°	90°	ZONAL LUMENS
0	2594	2594	2594	
5	2622	2585	2553	246
15	2563	2497	2480	703
25	2256	2306	2324	1059
35	1915	2042	2111	1264
45	1481	1673	1824	1281
55	1003	1296	1488	1135
65	622	942	1117	891
75	267	630	775	613
85	63	401	501	378
90	9	311	407	
95	1	249	329	225
105	0	150	219	136
115	0	94	149	83
125	0	53	102	47
135	0	28	63	24
145	0	12	35	10
155	0	6	16	3
165	0	0	4	0
175	0	0	0	0
180	0	0	0	

LUMEN SUMMARY ZONE	LUMENS	% FIXTURE
0 - 30	2008	25
0 - 40	3272	40
0 - 60	5688	70
0 - 90	7570	94
90 - 120	443	6
90 - 150	524	7
90 - 180	527	7
0 - 180	8098	100

75S-4-L85/835 Total Luminaire Output: 8098 lumens; 56.2 Watts | Efficacy: 144 lm/W | 80 CRI; 3500K CCT



CANDLEPOWER DISTRIBUTION VERTICAL ANGLE	HORIZONTAL ANGLE 0°	45°	90°	ZONAL LUMENS
0	2732	2732	2732	
5	2756	2720	2682	258
15	2633	2611	2579	734
25	2351	2352	2323	1083
35	1969	2010	1965	1247
45	1576	1554	1583	1209
55	1053	1160	1291	1051
65	618	840	1022	826
75	270	542	745	563
85	47	323	491	332
90	0	246	390	
95	0	230	344	223
105	0	200	291	185
115	0	171	256	149
125	0	139	216	110
135	0	96	166	71
145	0	58	113	38
155	0	36	63	16
165	0	17	31	4
175	0	0	0	0
180	0	0	0	

LUMEN SUMMARY ZONE	LUMENS	% FIXTURE
0 - 30	2075	26
0 - 40	3321	41
0 - 60	5581	69
0 - 90	7301	90
90 - 120	557	7
90 - 150	777	10
90 - 180	797	10
0 - 180	8098	100

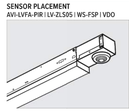
75 LED Narrow Strip

TYPE-B

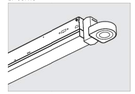
CONTROL DETAILS

SENSOR PLACEMENT

AVI-LVFA-PIR | LV-ZLS05 | WS-FSP | VDO



LV-OSFHU



AVI-LVFA-PIR

SPECIFICATIONS	
TYPE	PIR Motion + Daylight
MOUNTING HEIGHT	8' – 45'
LENS	Single lens detects high and low bay motion.
DETECTION ANGLE	360°
TEMPERATURE RANGE	-30° to 70°C
RELATIVE HUMIDITY	90 to 95% at 30°C
COMMISSIONING	App (iOS or Android)
SYSTEM REQUIREMENTS	Avi-On wireless fixture controls plus desktop and mobile apps
MANUFACTURER	Avi-On

SENSOR COVERAGE PATTERNS

Large motion
45' height: ø68' coverage

Small motion
20' height: ø28' coverage

VDO

SPECIFICATIONS	
TYPE	PIR Motion + Daylight
MOUNTING HEIGHT	8' – 12'
DETECTION ANGLE	360°
TEMPERATURE RANGE	0° to 55°C
RELATIVE HUMIDITY	0 to 90%, non-condensing
COMMISSIONING	App (iOS or Android)
MANUFACTURER	Lutron

SENSOR COVERAGE PATTERNS

9' height: ø12' coverage

MOTION SENSOR COVERAGE

CEILING HEIGHT	COVERAGE AREA (SQ FT)
8'	114
9'	144
10'	178
12'	256

VIVE CONTROL OPTIONS

CATALOG NUMBER	DESCRIPTION
VDO	Lutron Vive integral fixture control, RF with daylight and occupancy sensor (DFCSJ-OEM-OCC), for use with sensor-ready driver
VRF	Lutron Vive integral fixture control, RF only (DFCSJ-OEM-RF), for use with sensor-ready driver
VDO/DBI	Lutron Vive integral fixture control, RF with daylight and occupancy sensor (DFCSJ-OEM-OCC) and digital link interface, for use with Lutron Hi-lume 1% EcoSystem dimming LED driver
VRF/DBI	Lutron Vive integral fixture control, RF only (DFCSJ-OEM-RF) and digital link interface, for use with Lutron Hi-lume 1% EcoSystem dimming LED driver

75 LED Narrow Strip

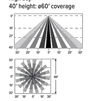
TYPE-B

LV-OSFHU-ITW-120-347

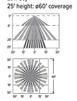
SPECIFICATIONS	
TYPE	PIR Motion
MOUNTING HEIGHT	8' – 40'
LENS	Interchangeable high bay, low bay or aisle mask
DETECTION ANGLE	360°
TEMPERATURE RANGE	-10° to 70°C
RELATIVE HUMIDITY	20% to 90% non-condensing
MANUFACTURER	Leviton

SENSOR COVERAGE PATTERNS

High bay
40' height: ø60' coverage



Low bay
25' height: ø60' coverage



LV-ZLS05-ILW

SPECIFICATIONS	
TYPE	PIR Motion + Daylight
MOUNTING HEIGHT	8' – 10'
DETECTION ANGLE	120°
TEMPERATURE RANGE	-20° to 70°C
COMMISSIONING	DIP switches or optional remote: ZLS08-RA1
MANUFACTURER	Leviton

SENSOR COVERAGE PATTERNS

10' height: ø24' coverage

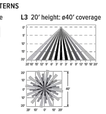
WS-FSP-311-L2-120/277

SPECIFICATIONS	
TYPE	PIR Motion + Daylight
MOUNTING HEIGHT	8' – 20'
DETECTION ANGLE	360°
TEMPERATURE RANGE	-40° to 75°C
COMMISSIONING	App (iOS or Android)
MANUFACTURER	Wattstopper

SENSOR COVERAGE PATTERNS

L2 8' height: ø48' coverage

L3 20' height: ø40' coverage



ADDITIONAL DRIVER OPTIONS

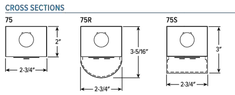
Note: Lumen restrictions apply, consult product builder at hew.com/product-builder.

CATALOG NUMBER	DESCRIPTION
DRV	Driver prewired for non-dimming applications
DIM	Dimming driver prewired for 0-10V low voltage applications
DIM1	1% dimming driver prewired for 0-10V low voltage applications
DIM LINE	Line voltage dimming driver (TRIAC and ELV compatible, 120V only)
DIM TRC	Line voltage dimming driver (TRIAC compatible, 120V only)
DA	Dimming driver with 12V auxiliary
DSR	Sensor-ready driver
SD40	40% step-dimming driver
SD50	50% step-dimming driver
DALI	DALI dimming driver
LTE LINE	Lutron Hi-lume 1% 2-wire dimming driver forward phase line voltage controls (120V only)
LDE1	Lutron Hi-lume 1% EcoSystem dimming LED driver
ELDO SOLOB	EldoLED Solodrive, 0.1% dimming driver for 0-10V controls
ELDO SOLOB DALI	EldoLED Solodrive, 0.1% dimming driver for DALI controls
ELDO ECO1	EldoLED Ecodrive, 1% dimming driver for 0-10V controls
ELDO ECO1 DALI	EldoLED Ecodrive, 1% dimming driver for DALI controls

75 LED Narrow Strip

TYPE-B

CROSS SECTIONS



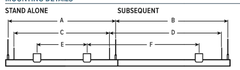
FIXTURE DETAILS

BACKVIEW

7/8" KOs (G)	ACTUAL FIXTURE LENGTH (H)
2' 18-3/8"	22-1/2"
3' 29-1/2"	33-9/16"
4' 40-1/2"	44-5/8"
8' 85-1/8"	89-1/4"

MOUNTING DETAILS

STAND ALONE / SUBSEQUENT



MOUNTING LENGTH

	AIRCRAFT CABLE A	AIRCRAFT CABLE B	VBY HANGER C	VBY HANGER D	31S SPACER E	31S SPACER F
2'	21-1/2"	22-1/2"	19"	22-1/2"	10"	22-1/2"
3'	32-1/2"	33-9/16"	30-1/16"	33-9/16"	21"	33-9/16"
4'	43-5/8"	44-5/8"	41-1/4"	44-5/8"	32"	44-5/8"
8'	88-3/16"	89-1/4"	85"	89-1/4"	77"	89-1/4"

STANDARD HARDWARE FOR SUSPENDED PRODUCT (Grid and Hardpan)

Notes:

- Fixtures are provided with adjustable length aircraft cables and mounting hardware, must specify.
- Electrical supply is brought into the feeder fixture, either as part of a row or as a stand-alone unit. Joiner fixtures complete the row.
- The feeder kits are standard with a 5" canopy to cover the junction box and a 2" canopy at the non-feed point. No J-box is required at non-feed points.

CORD FOR SUSPENDED PRODUCT

Units specified with aircraft cable require cord. Please specify cord type using ordering information below.

EXAMPLE: S2438/W CORD TYPE	LENGTH	# OF COND.	WIRE SIZE	COLOR
S	24 24" 38 38" 48 48" 96 96"	3 4 5	8	/W White /B Black

MOUNTING ACCESSORIES DETAILS

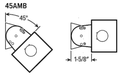
WG-75

VBY

31S

RA-75

45AMB



75 LED Narrow Strip

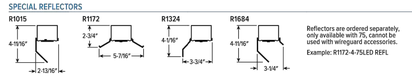
TYPE-B

QUICK CONNECT OPTIONS

Note: Quick connect wiring required for row mounting. Length restrictions may apply, consult product builder at hew.com/product-builder.

DESIGNATION	NUMBER OF WIRES (EXCLUDING GROUND)	WIRE COLORS	WIRE COLOR/POWER SUPPLY FACTORY CONNECTIONS	TYPICAL USE
C2B	3	White, Black, Red	White, Black	Alternating Circuits
C2BR	3	White, Black, Red	White, Black, Red	ON/OFF Switching (0/8V) or Line Voltage dimming (DIM LINE) when equipped w/EM Power Supply (EM/120W)
C2R	3	White, Black, Red	White, Red	Alternating Circuits
C2RW/RY	5	White, Black, Red, Gray, Green	White, Black/Red, Gray	0-10V 4-wire Low Voltage Dimming (DIM)

SPECIAL REFLECTORS



Reflectors are ordered separately, only available with 75, cannot be used with wireguard accessories.

Example: R1172-4-75LED REFL

FINISH OPTIONS

WHITE	BLACK	BRONZE	NICKEL	SILVER	ALUM

For custom color, please specify RAL code or a manufacturer code with description. All custom colors other than RAL require two sample swatches, minimum 1" square.

222 EAST 4TH

LANE PARTNERS

LANE PARTNERS

KSH ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
A	2/14/20	Pre-Application Set

PROJECT NUMBER
16010.00

SHEET TITLE
LIGHT FIXTURE CUT SHEETS

SCALE

SHEET NUMBER

EP-3